# EL MONTE UNION HIGH SCHOOL DISTRICT

# ARROYO HIGH SCHOOL - NEW GREENHOUSE

# DSA SUBMITTAL

**DSA FILE NO. 19-H10** 

[T]: 626.444.9005

CSDA DESIGN GROUP

[T] 310.821.9200

610 E. FRANKLIN AVENUE

EL SEGUNDO, CA, 90245

PROJECT DIRECTORY

**OWNER** 

**ARCHITECT** 

SCOPE OF WORK 3537 JOHNSON AVENUE, EL MONTE, CA 91731

NEW 24' X 48' MANUFACTURED GREENHOUSE WITH PLANTER BEDS NEW CRUSHED ROCK GROUND SURFACE WITH CONCRETE FOOTINGS TO SUPPORT GREENHOUSE

NEW ELECTRICAL EQUIPMENT TO SERVICE GREENHOUSE NEW WATER IRRIGATION PLUMBING TO SERVICE GREENHOUSE

NEW ACCESSIBLE WALKWAY TO GREENHOUSE FROM EXISTING

TX ENGINEERING CORP. 2866 BIRCH LANE POMONA, CA, 91767

MICHAEL R. SCHOEN, PRINCIPAL

EL MONTE UNION HIGH SCHOOL DISTRICT

NORMA MACIAS, OWNERS AUTHORIZED REPRESENTATIVE

[T] 213.295.5532 THOMAS XU, PRINCIPAL

**EDWIN CASTRO** 

CIVIL / STRUCTURAL

**ALTERNATE** 

MECHANICAL/

**ELECTRICAL/** 

**PLUMBING** 

VCA ENGINEERS, INC. 1041 S. GARFIELD AVENUE SUITE #210 ALHAMBRA, CA 91801 [T] 323.729.6098

PTN.: 64519-107 **DRAWING INDEX** 

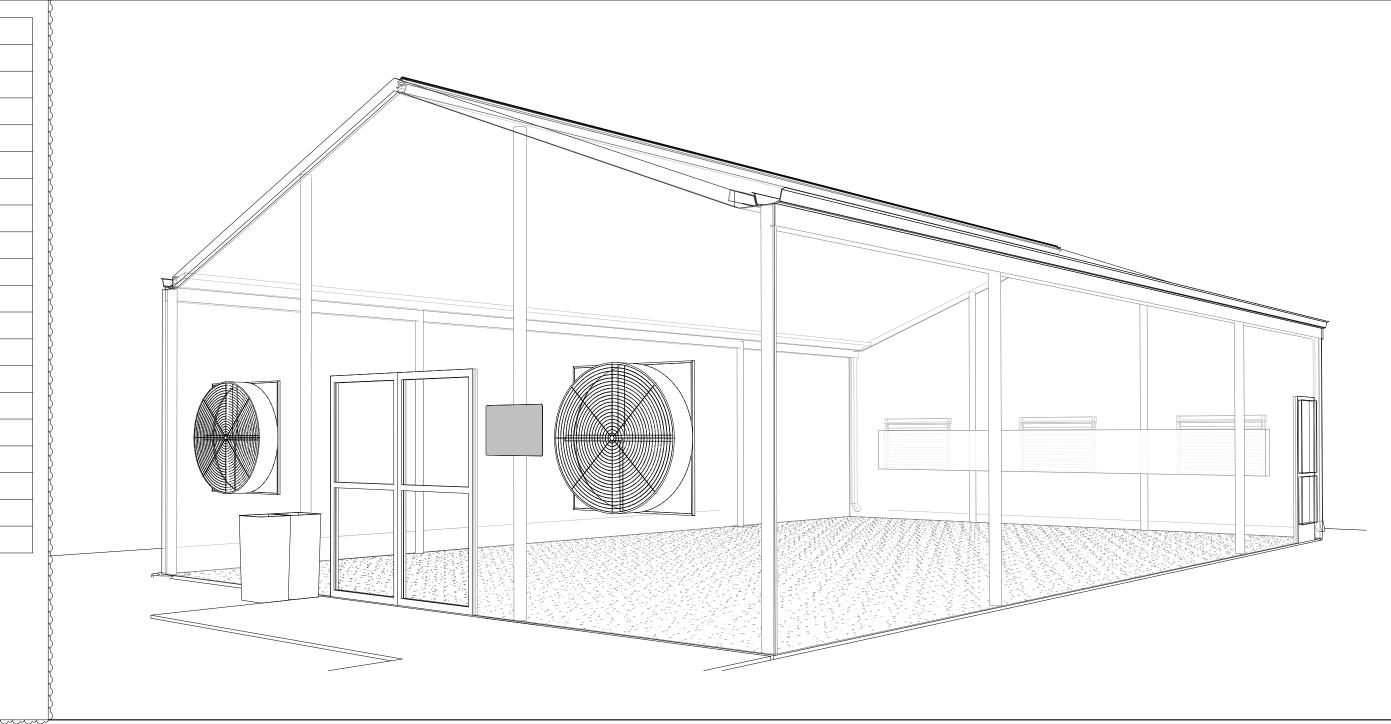
> **Sheet Name Sheet Number** COVER SHEET - INDEX, SCOPE OF WORK & VICINITY MAP GENERAL NOTES, ABBREVIATIONS & SYMBOL LEGEND OVERALL CAMPUS SITE PLAN, FLS, & ACCESSIBILITY GENERAL NOTES, LEGEND, AND ABBREVIATIONS SITE DEMOLITON AND SITE CONTOL PLANS SITE GRADING AND SITE UTILITY PLAN

SITE EROSION PLAN **EROSION DETAILS** ENLARGED SITE PLAN - DEMO ENLARGED SITE PLAN A-110 GREENHOUSE FLOOR PLAN GREENHOUSE POWER PLAN A-500 DETAILS - TYPICAL SCHEDULES **GREENHOUSE FOUNDATION PLAN & NOTES** ELECTRICAL COVER SHEET

E-101 ELECTRICAL SITE PLAN P-100 PLUMBING LEGEND, NOTES AND SCHEDULE P-101 PLUMBING SITE PLAN

Grand total: 19

DSA APPLICATION NO.: 03-122086



#### SITE AREA PERSPECTIVE

PERSPECTIVE

### STATEMENT OF GENERAL CONFORMANCE

THE DRAWING SHEETS LISTED ON THE SHEET INDEX HAVE BEEN PREPARED BY OTHER DESIGN PROFESSIONALS OR CONSULTANTS WHO ARE LICENSED AND/OR AUTHORIZED TO PREPARE SUCH DRAWINGS IN THE STATE OF CALIFORNIA. I HAVE EXAMINED THE DRAWINGS FOR:

\*\*PER DSA IR A-22 APPENDIX 34, FOOTNOTE 20 & EXEMPTION 2.1.2.2, THE EL

MONTE UNION HIGH SCHOOL DISTRICT REQUESTS DSA "ACCESS-ONLY" REVIEW

AND ACKNOWLEDGES THE OCCUPIABLE GREENHOUSE WILL NOT BE USED FOR

CLASSROOM INSTRUCTION AND NOT APPROVED OR CERTIFIED BY DSA.

(1) DESIGN INTENT AND THEY APPEAR TO MEET THE APPROPRIATE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS AND THE PROJECT SPECIFICATIONS PREPARED BY MYSELF, AND

(2) COORDINATION WITH MY PLANS AND SPECIFICATIONS, AND ARE ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT.

THE STATEMENT OF GENERAL CONFORMANCE "SHALL NOT BE CONSTRUED AS RELIEVING ME OF MY RIGHTS, DUTIES, AND RESPONSIBLITIES UNDER SECTIONS 17302 AND 81138 OF THE EDUCATION CODE AND SECTIONS 4-336, 4-341, AND 4-344" OF TITLE 24, PART 1. [PER TITLE 24, PART 1, SECTION 4-317(B)]

SIGNATURE OF ARCHITECT DESIGNATED TO BE IN RESPONSIBLE CHARGE

MICHAEL R. SCHOEN

**VICINITY MAP** 

#### **APPLICABLE CODES**

ADDITIONAL SHUT-OFF VALVE

THE WORK ON PUBLIC SCHOOL PROJECTS IN CALIFORNIA IS ADMINISTERED AND ENFORCED BY THE DIVISION OF THE STATE ARCHITECT (DSA), INCLUDING THE STRUCTURAL SAFETY SECTION, THE ACCESS COMPLIANCE SECTION, AND THE STATE FIRE MARSHALL

ALTERNATE #2 - INTERIOR AQUAPONICS EQUIPMENT PER A-600

1. STATUTORY & JUDICIAL REGULATIONS:

A. 2019 BUILDING STANDARDS ADMINSTRATIVE CODE, PART 1, TITLE 24 C.C.R. B. 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24, TITLE 24 C.C.R.

ALTERNATE #1 - REMOVE FROM SCOPE NEW 2" WATER CONNECTION AND

ASSOCIATED YARD BOX AND VALVES PER DRAWING P-101: INCLUDING KEY NOTES 1 THROUGH 6. PROVIDE A HOSE BIBB NEAR GREENHOUSE WITH

- C. 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3 TITLE 24 C.C.R.
- D. 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
- E. 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- F. 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R. G. 2019 CALIFORNIA FIRE CODE, PART 9, TITLE S4 C.C.R.
- H. 2019 CALIFORNIA REFERENCE STANDARDS, PART 12, TITLE 24 C.C.R.

APP: 03-122086 INC: REVIEWED FOR SS ☐ FLS ☐ ACS ☑

LISTEN COLLABORATE CREATE

610 E. Franklin Ave El Segundo, CA 90245 T: 310.301.4767

www.csdadesigngroup.com

ARCHITECT STAMP



CONSULTANT

CONSULTANT STAMP

PROJECT OWNER:



**EL MONTE UNION HIGH SCHOOL DISTRICT** 

EL MONTE, CA 91731

ARROYO HIGH SCHOOL **NEW GREENHOUSE** 



4921 CEDAR AVE., EL MONTE, CA 91732

MARK DATE DESCRIPTION

	01/07/22	100% CD SET
	03/03/22	DSA SUBMITTAL
		DSA V2 SUBMITTAL
P∩ II	ECT NO :	21075 01

SHEET TITLE:

COVER SHEET - INDEX, SCOPE OF WORK & VICINITY MAP

01/07/22

SHEET NO.:

G-001

#### **GENERAL NOTES**

- 1. ALL CONSTRUCTION AND ALL ON-SITE AND SITE-RELATED ACTIVITIES SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES, ORDINANCES AND STATUTES.
- 2. DRAWINGS AND SPECIFICATIONS, INTEGRAL OR SEPARATELY PACKAGED, REPRESENT FINISHED CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, SHORING AND TEMPORARY BRACING.
- 3. WRITTEN DIMENSIONS GOVERN OVER SCALED DIMENSIONS. EXISTING BUILDING DIMENSIONS ARE FOR GUIDANCE ONLY, AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK. OMISSION OR CONFLICTS BETWEEN VARIOUS ELEMENTS IN THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- 4. THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING AND/OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO PART OF THIS CONTRACT. INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED. PERFORM THAT WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.
- 5. NO DEVIATION FROM THE APPROVED DRAWINGS AND SPECIFICATIONS IS PERMITTED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT. ANY DEVIATION OR MODIFICATION FROM THE DSA APPROVED PLANS AFFECTING THE HEALTH, FIRE/LIFE SAFETY, STRUCTURAL INTEGRITY, OR ACCESSIBILITY SHALL BE SUBMITTED TO DSA FOR REVIEW AND APPROVAL PRIOR TO COMMENCING SUCH WORK. THE ARCHITECT'S INTERPRETATION OF THESE DOCUMENTS SHALL BE FINAL. ALL MATTERS OF COLOR, TEXTURE, DESIGN AND INTERPRETATION OF DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT BY THE CONTRACTOR FOR RESOLUTION BY HIM OR HER.
- 6. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING THE JOB TO FAMILIARIZE HIMSELF / HERSELF IN DETAIL AS TO THE EXTENT OF THE WORK REQUIRED AND THE EXISTING CONDITIONS, AND SHALL TAKE THESE INTO CONSIDERATION IN THE COST OF THE BID. UPON BEING AWARDED A CONTRACT AND BEFORE BEGINNING WORK AT THE SITE, THE CONTRACTOR IS TO INSPECT AND VERIFY THE CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT, AND TO IMMEDIATELY REPORT DISCREPANCIES WITH THE PROJECT DOCUMENTS TO THE ARCHITECT.
- 7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES, AND SHALL POST OR PUBLISH, AS REQUIRED, ALL NECESSARY NOTICES PRIOR TO PERFORMING ANY WORK ON SITE. THE COSTS OF THESE PERMITS, LICENSES AND NOTICES IS INCIDENTAL TO OTHER ITEMS OF WORK AND NO ADDITIONAL PAYMENTS WILL BE MADE FOR COSTS INCURRED FOR PERMITS, LICENSES AND NOTICES OR IN CONFORMING TO THE REQUIREMENTS THEREOF.
- 8. THE CONTRACTOR SHALL FURNISH THREE (3) SETS OF SHOP DRAWINGS AND PERFORMANCE SPECIFICATIONS AS REQUESTED FOR REVIEW AND APPROVAL OR REJECTION BY THE ARCHITECT OR ENGINEER PRIOR TO FABRICATION OR DELIVERY OF MATERIAL. REVIEW OF SUCH SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL CONTRACT REQUIREMENTS.
- 9. ANY WORK OR MATERIALS NOT DIRECTLY NOTED IN THE CONTRACT DOCUMENTS, BUT NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE INTENT THEREOF, ARE IMPLIED AND ARE TO BE PROVIDED AS IF SPECIFICALLY DESCRIBED AT NO ADDITIONAL COST.
- 10. THE CONTRACTOR SHALL PHOTOGRAPH EXISTING CONDITIONS AT START OF JOB AND VERIFY FUNCTIONALITY OF ELECTRICAL AND MECHANICAL SYSTEMS. ALL DAMAGED AND NON-FUNCTIONING ITEMS NOT IDENTIFIED SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF THE PROJECT.
- 11. TRUCK ROUTES USED FOR THE CONSTRUCTION OF THIS PROJECT ARE TO BE SUBMITTED TO AND APPROVED BY ALL RELEVANT JURISDICTIONS, AS REQUIRED.
- 12. THE CONTRACTOR SHALL ASSUME CARE, CUSTODY & RESPONSIBILITY FOR SAFEGUARDING THE OWNER'S PROPERTY OF EVERY KIND, WHETHER FIXED OR PORTABLE. BEFORE BEGINNING WORK AT THE SITE THE CONTRACTOR SHALL INSPECT AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTY ITEMS, CASEWORK, EQUIPMENT AND OTHER ITEMS WHICH MUST BE PRESERVED AND PROTECTED, AND/OR REMOVED TO BE PROPERLY STORED AND RE-INSTALLED, IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL PROVIDE ALL FORMS OF SECURITY AND PROTECTION NECESSARY TO PROTECT OWNER'S PROPERTY. REGARDLESS OF THE CAUSE.
- 13. THE CONTRACTOR SHALL REPAIR, REPLACE OR OTHERWISE RESTORE ANY DAMAGED PROPERTY UNDER THE CONTRACTOR'S CARE
- 14. IN THE DEMOLITION DRAWINGS, DASHED LINES INDICATE CONSTRUCTION FIXTURES OR ITEMS TO BE REMOVED OR SALVAGED. 'REMOVE' MEANS DEMOLITION AND DISPOSAL OF ITEMS. 'SALVAGE' MEANS CAREFUL EXTRACTION AND PROTECTION FOR REINSTALLATION, STORAGE OR OTHER DISPOSAL, AS DIRECTED. ITEMS NOT SPECIFICALLY NOTED FOR SALVAGE, ARE TO BE REMOVED AND DISPOSED OF.
- 15. THE CONTRACTOR SHALL MAINTAIN FIRE PROTECTION DURING DEMOLITION AND CONSTRUCTION AND SHALL USE CONSTRUCTION MATERIALS, THAT COMPLY WITH ALL APPLICABLE FIRE-RELATED REGULATIONS.
- 16. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND WASTE IN THEIR AREA OF WORK AT LEAST TWICE A WEEK AND SHALL AT ALL TIMES OPERATE IN A CLEAN AND SAFE MANNER. TRASH AND CONSTRUCTION RELATED DEBRIS MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION BY RAINWATER OR DISPERSAL BY WIND OR ANIMALS. AT THE COMPLETION OF THE PROJECT, CONTRACTOR SHALL TURN OVER AN ACCEPTABLY CLEAN SITE TO OWNER.
- 17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE OR FOOT TRAFFIC. SITE ACCESS WAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY OR ADJOINING PROPERTIES. ANY SUCH ACCIDENTAL OR OTHER DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- 18. FUELS, OILS AND SOLVENTS AND OTHER TOXIC OR NON-NATIVE MATERIALS MUST NOT CONTAMINATE ANY SOILS, SURFACE WATERS OR GROUND WATER, AND MUST BE STORED IN ACCORDANCE WITH THEIR LISTING IN APPROVED STORAGE CONTAINERS, FULLY PROTECTED FROM WIND, RAIN AND ANIMALS. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN THE PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE STORMWATER OR SEWAGE SYSTEMS.
- 19. HAZARDOUS MATERIALS MAY BE PRESENT ON SITE. THE CONTRACTOR IS TO REVIEW THE DISTRICT'S HAZMAT DOCUMENTS AND GET DIRECTION FROM THE DISTRICT REGARDING REMOVAL OF HAZARDOUS MATERIALS. SHOULD CONTRACTOR DISCOVER WHAT IS BELIEVED TO BE HAZARDOUS MATERIALS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY AND WAIT FOR DIRECTION. NOTHING IN THESE DOCUMENTS INDICATE OR INVOLVE REMOVAL OR HANDLING OF HAZARDOUS MATERIALS.
- 20. NO MOTOR VEHICLES ARE TO BE STORED IN BUILDINGS UNDER CONSTRUCTION
- 21. THERE SHALL NOT BE ANY TRESPASSING ON ANY ADJOINING PROPERTY. NO MATERIALS SHALL BE STORED ON ANY ADJOINING PROPERTY. REPRESENTATIVES OF THE OWNER AND OF THE CONTRACTOR ARE TO INSPECT ALL SIDEWALKS, ROADWAYS AND ADJOINING PROPERTIES PRIOR TO COMMENCING WORK. ALL EXISTING DAMAGE SHALL BE NOTED AND AGREED TO BY BOTH PARTIES ANY DAMAGE TO THESE SIDEWALKS, ROADWAYS OR ADJOINING PROPERTIES OCCURRING DURING THIS CONTRACT SHALL BE
- 22. NO MATERIALS OR EQUIPMENT SHALL BE STORED ON THE PUBLIC RIGHT OF WAY UNLESS AND ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE APPROPRIATE LOCAL AUTHORITY.
- 23. ALL PAINT AND STAIN MATERIALS MUST COMPLY WITH LOCAL, STATE AND FEDERAL AIR POLLUTION CONTROL MANDATES.
- 24. ALL CONSTRUCTION APPARATUS AND ACTIVITIES SHALL BE LIMITED TO DESIGNATED AREAS. ALL WORK SHALL BE DONE IN A MANNER WHICH WILL NOT ENDANGER USERS OF THE FACILITIES OR THE PUBLIC.
- 25. THE CONTRACTOR SHALL FUMIGATE BUILDING(S) AND EMPLOY LICENSED PEST CONTROL CONTRACTOR TO REMOVE ANY INSECTS, BIRDS, OR RODENTS ON SITE, AND TO CLEAN UP CARCASSES AND DROPPINGS DURING CONSTRUCTION & PRIOR TO SUBSTANTIAL COMPLETION.
- 26. CONTRACTOR IS TO PROVIDE ALL ITEMS THAT ARE NEW AND OF KIND AND QUALITY INDICATED BY THE DRAWINGS AND SPECIFICATIONS U.O.N.

- 27. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY AND WHAT IS SPECIFIED BY ONE SHALL BE BINDING AS IF SPECIFIED BY ALL. ANY WORK SHOWN OR REFERRED TO ON CONSTRUCTION DOCUMENTS, WHETHER DRAWINGS OR SPECIFICATIONS, SHALL BE PROVIDED AS THOUGH IT WERE SHOWN ON ALL RELATED DOCUMENTS. GENERAL NOTES APPLY TO ENTIRE PROJECT. SHEET NOTES APPLY TO ENTIRE SHEET ON WHICH THEY OCCUR. KEY NOTES APPLY TO THE SERIES OF DRAWINGS TO WHICH THEY BELONG.
- 28. N.I.C. ITEMS ARE SHOWN FOR SCOPE COORDINATION PURPOSES ONLY, AND ARE NOT A PART OF THE DSA APPROVAL.
- 29. THE CONTRACTOR AND THEIR SUBCONTRACTORS SHALL NOT WORK BEFORE OR AFTER THE HOURS PERMITTED BY LOCAL GOVERNMENT AGENCIES & HUSD, AND IN NO CASE PRIOR TO 6:00 AM EACH WEEKDAY AND 8:00 AM ON WEEKENDS AND HOLIDAYS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALLOWABLE WORKING HOURS.
- 30. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR VENT, DUCT, CONDUIT SLEEVE PENETRATIONS, ETC. NOT SHOWN ON THE ARCHITECTURAL DRAWINGS.
- 31. CONTRACTOR SHALL NOT DRILL, CUT OR CORE DRILL ANY EXISTING FLOOR, WALL OR ROOF JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED ON THE DSA APPROVED DRAWINGS OR PRIOR APPROVAL OBTAINED BY A.O.R. OR S.E.O.R. & DSA PRIOR TO COMMENCING SUCH WORK, AND SHALL MAKE OPENINGS OF PROPER SIZE FOR CONDUITS, DUCTS PIPES OR OTHER ITEMS PASSING THROUGH. DO NOT PROGRESS WITH SUCH WORK BEFORE FIRST SECURING THE CONCURRENCE AND APPROVAL OF THE STRUCTURAL ENGINEER AND/OR ARCHITECT & DSA, (UNLESS SPECIFICALLY INDICATED ON DSA APPROVED DRAWINGS) AND ALL PENETRATIONS CAUSED BY THIS WORK SHALL BE TREATED FOR A TIGHT SEAL BY THE CONTRACTOR USING A MATERIAL OF THE SAME INTEGRITY AS THE EXISTING PENETRATION. IF DETAILS DO NOT SHOW OR CONFORM TO THE APPROVED DRAWINGS, THEN REVIEW OF DETAILS TAKES PLACE BEFORE ANY WORK IS STARTED. APPROVAL BY ARCHITECT, STRUCTURAL ENGINEER AND ANY OTHER APPLICABLE AUTHORITY IS REQUIRED. WORK SHALL BE COORDINATED WITH SCHOOL SCHEDULE THROUGH THE CONSTRUCTION MANAGER.
- 32. CONTRACTORS SHALL REPAIR, PATCH AND FINISH OR REFINISH TO MATCH ADJACENT EXISTING FINISHES ON ANY NEW OR OLD STRUCTURES OR FINISHES WHICH ARE DAMAGED BY CUTTING, GRINDING, DRILLING, DEMOLITION OR OTHER MEANS DURING CONSTRUCTION.
- 33. WHERE CONDUIT, DUCTS, PIPES AND SIMILAR ITEMS ARE SHOWN TO BE INSTALLED IN EXISTING WALLS OR PARTITIONS, NEATLY CHASE THE WALLS OR PARTITIONS, INSTALL THE ITEMS, AND PATCH THE WALLS OR PARTITIONS. MAKE THE INSTALLATION INDISCERNIBLE IN THE FINISHED WORK. APPROVAL BY A.O.R. IS REQUIRED.
- 34. SEAL TIGHT AND PROTECT WITH FIRE SAVING NEW SLEEVES AND OPENINGS THROUGH FIRE RATED PARTITIONS.
- 35. WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES ARE REQUIRED TO MATCH THE EXISTING PRODUCTS MATERIALS AND FINISHES.
- 36. PAINT ALL EXPOSED CONDUITS, METALS, PIPES, DUCTS, ETC. (U.O.N.). COLORS TO BE SELECTED BY THE ARCHITECT.
- 37. THE CONTRACTOR SHALL PROVIDE ACCESS PANELS OF REQUIRED SIZES WHERE PLUMBING AND HEATING VALVES NEED TO BE ACCESSIBLE.
- 38. CONNECTIONS OF ALL DISSIMILAR METAL ITEMS SHALL BE FURNISHED WITH DIELECTRIC SEPARATORS. THE CONTRACTOR TO
- 39. WHERE WORK IS PERFORMED THAT AFFECTS EXISTING PAINT FINISHES, THE CONTRACTOR SHALL REPAINT AFFECTED AREA TO NEAREST CLEAR BREAK POINT OR WHERE NOTED BY A.O.R.
- 40. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKBOARDS, ELECTRICAL OUTLETS, CONDUITS, ETC. AS REQUIRED BY THE OWNER'S TELEPHONE COMPANY, TO ACCOMMODATE THEIR INSTALLATION.
- 41. ALL ELECTRICAL, PHONE, ELECTRONIC, MECHANICAL, PLUMBING AND OTHER LINES SHALL BE CONCEALED UNLESS OTHERWISE
- 42. NO THERMOSTATS SHALL BE LOCATED IN THE CENTER OF WALLS, OR IN ANY OTHER CONSPICUOUS LOCATIONS, WITHOUT THE
- 43. ALL MECHANICAL, PLUMBING, AND ELECTRICAL COMPONENTS SHALL BE ANCHORED AND INSTALLED PER THE DETAILS ON THE DSA APPROVED CONSTRUCTION DOCUMENTS. WHERE NO DETAIL IS INDICATED, COMPONENTS SHALL BE ANCHORED OR BRACED TO MEET THE FORCE AND DISPLACEMENT REQUIREMENTS PRESCRIBED IN THE 2016 CBC, SECTIONS 1616A.1.18 THROUGH 1616A.1.26 AND ASCE 7, CHAPTER 13.
- 44. PROOF LOAD TEST FOR EXPANSION ANCHOR BOLTS, ALL CONCRETE ANCHOR BOLTS OF THE EXPANSION TYPE (LOADED IN EITHER PULLOUT OR SHEAR) SHALL BE PROOF TESTED AS SPECIFIED IN CBC SECTION 1910A.5.7. IF THERE ARE ANY FAILURES, THE IMMEDIATELY ADJACENT BOLTS MUST ALSO BE TESTED. ALL TEST RESULTS MUST BE IMMEDIATELY REPORTED TO THE ARCHITECT, STRUCTURAL ENGINEER & DSA.
- 45. EXIT SIGNS AND DIRECTIONAL SIGNS CONFORMING TO ALL APPLICABLE CODES AND REGULATIONS, INCLUDING TITLE 24, CCR SHALL BE PROVIDED.
- 46. FIXTURES REQUIRED FOR EXIT ILLUMINATIONS SHALL BE SUPPLIED FROM SEPARATE SOURCES OF POWER. THE POWER SUPPLY FOR EXIT ILLUMINATION SHALL BE PROVIDED BY THE PREMISES' WIRING SYSTEM U.O.N. IN THE EVENT OF ITS FAILURE, ILLUMINATION SHALL BE AUTOMATICALLY PROVIDED FROM AN EMERGENCY SYSTEM. ALL EXIT WAYS IN THE AREA OF WORK SHALL BE EQUIPPED WITH AN APPROVED EMERGENCY SYSTEM AND SHALL BE SUPPLIED FROM STORAGE BATTERIES OR AN ON-SITE GENERATOR SET AND
- THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ELECTRICAL CODE 47. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL EFFORT OR KNOWLEDGE. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED, SPECIAL LOCKING DEVICES SHALL BE AN APPROVED TYPE ONLY.
- 48. ALL EXIT WAYS IN THE AREA OF WORK SHALL BE EQUIPPED WITH AN APPROVED EMERGENCY LIGHTING SYSTEM OF 5 FOOT-
- CANDLES OR MORE DESIGNED TO OPERATE WHEN THE BUILDING POWER SOURCE IS INTERRUPTED. 49. THE EQUIPMENT MANUFACTURER OR PRODUCT BRAND SPECIFIED IS USED AS A MEASURE OF QUALITY AND UTILITY OR AS A
- STANDARD. IF THE CONTRACTOR DESIRES TO MAKE A SUBSTITUTION, IT SHALL BE HIS OR HER RESPONSIBILITY TO PROVIDE PROOF THAT THE SUBSTITUTION IS OF EQUAL QUALITY. THE OWNER SHALL ACCEPT OR REJECT THE REQUEST FOR SUBSTITUTION AND THE DECISION SHALL BE FINAL. THE CONTRACTOR SHALL PROVIDE A LIST OF PROPOSED SUBSTITUTIONS DURING THE BID PERIOD OR PRIOR TO CONSTRUCTION.
- 50. WHEN REQUIRED, FIRE-RATED GYPSUM WALLBOARD AND/OR PLASTER WALL AND CEILINGS ARE BROKEN TO ANY EXTENT, THE DAMAGED GYPSUM WALLBOARD AND/OR PLASTER SHALL BE REPLACED OR RETURNED TO THE REQUIRED LEVEL OF FIRE RESISTANCE USING A LISTED REPAIR SYSTEM OR USING MATERIALS AND METHODS EQUIVALENT TO THE ORIGINAL CONSTRUCTION, AS PER CFC
- SECTION 703.1 (MAINTENANCE OF FIRE-RESISTIVE CONSTRUCTION) OR ANY OTHER APPLICABLE REGULATION. 51. CONTRACTOR IS TO VERITY ALL EXISTING DIMENSIONS WHERE NEW CONSTRUCTION IS DEPENDENT ON EXISTING DIMENSIONS, BEFORE COMMENCING WORK, AND TO IMMEDIATELY INFORM THE ARCHITECT OF ANY DISCREPANCIES OR ERRORS

52. ALL DEMOLITION SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, INCLUDING CBC CH. 34 AND CFC CH. 14, AND

- THE LATEST PUBLISHED EDITION AND AMENDMENTS.
- 53. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS, INCLUDING TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR), LATEST ADOPTED PUBLISHED EDITION AND AMENDMENTS.
- 54. ALL WALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.

WRITTEN APPROVAL OF THE ARCHITECT.

- REQUIRED THROUGH OUT THE PROJECT.. 56. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION
- CHANGED DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24,

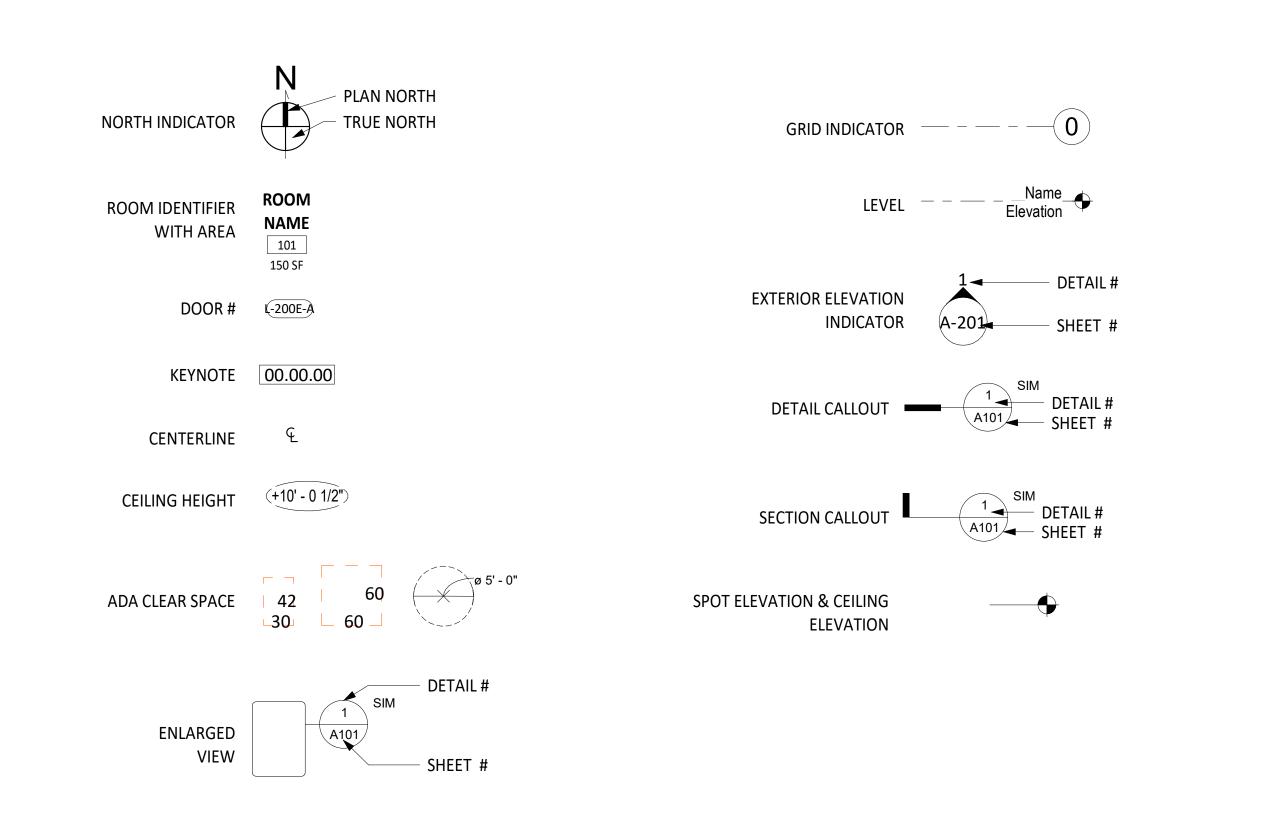
55. PROVIDE BACKING FOR ALL WALL MOUNTED OR CEILING MOUNTED EQUIPMENT EVEN IF NOT NOTED. POSITIVE CONNECTION IS

- 57. A "DSA CERTIFIED" PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DSA SHALL PROVIDE
- CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR. 58. A DSA-CERTIFIED CLASS 2 PROJECT INSPECTOR IS REQUIRED FOR THIS PROJECT. 59. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED
- TESTS AND INSPECTIONS FOR THE PROJECT. 60. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH
- CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

#### **ABBREVIATIONS**

NOTE		(E)	EVICTING	N 4 A 1 N 1 T	MAINITENIANIOE	0.4.T	OLIOPENDED ACCULOTION. THE
NOTE:	DDEVIATIONS ADELICED	(E) EA	EXISTING	MAINT	MAINTENANCE	SAT	SUSPENDED ACOUSTICAL TILE
IN THIS PRO	BREVIATIONS ARE USED	EA ED	EACH EXIT DEVICE	MATL MAX	MATERIAL MAXIMUM	SC SCD	SEALED CONCRETE SEE CIVIL DRAWINGS
IN THIS PRO	JECI	EJ	EXPANSION JOINT	MB	MACHINE BOLT	SCHED	SCHEDULE
d	PENNY	EL	ELEVATION	MECH	MECHANICAL	SCHED	SOLID CORE WOOD
	POUND OR NUMBER	ELEC	ELECTRICAL	MEMB	MEMBRANE	SD	SOAP DISPENSER
#	POUND OR NUMBER	ELEV	ELEVATOR	MEZZ	MEZZANINE	SD SD	SMOKE DETECTOR
AB	ANCHOR BOLT	EMER	EMERGENCY	MFR	MANUFACTURER	SECT	SECTION
AC AC	ASPHALTIC CONCRETE	ENCL	ENCLOSURE	MH	MANHOLE	SED	SEE ELECTRICAL DRAWINGS
A/C	AIR CONDITIONING	EQ	EQUAL	MIN	MINIMUM	SF	SQUARE FEET
ACC	ACCESSIBLE	EQUIP	EQUIPMENT	MISC	MISCELLANEOUS	SHT	SHEET
ACCUS				MTD			SIMILAR
	ACOUSTICAL	ES EW	EACH SIDE		MOUNTED	SIM	
ACS PNL	ACCESS PANEL		EACH WAY	MTL	METAL BARTITION	SLD	SEE LANDSCAPE DRAWINGS
ACST	ACOUSTIC	EXH	EXHAUST	MTLP	METAL PARTITION	SLNT	SEALANT
ACT	ACOUSTICAL CEILING TILE	EXP	EXPANSION	(A.1)	NEW	SMD	SEE MECHANICAL DRAWINGS
ADA	AMERICANS WITH DISABILITES ACT	EXP BT	EXPANSION BOLT	(N)	NEW	SND	SANITARY NAPKIN DISPENSER
ADDL	ADDITIONAL	EXT	EXTERIOR	NIC	NOT IN CONTRACT	SNR	SANITARY NAPKIN RECEPTACLE
ADH	ADHESIVE			NO	NUMBER	SPD	SEE PLUMBING DRAWINGS
ADJ	ADJUSTABLE	FA	FIRE ALARM	NOM	NOMINAL	SPEC	SPECIFICATION
ADMIN	ADMINISTRATION	FD	FLOOR DRAIN	NPS	NOMINAL PIPE SIZE	SPKLR	SPRINKLER
AFF	ABOVE FINISHED FLOOR	FDTN	FOUNDATION	NTS	NOT TO SCALE	SQ	SQUARE
AGGR	AGGREGATE	FE _	FIRE EXTINGUISHER			SSD	SEE STRUCTURAL DRAWINGS
ALT	ALTERNATE	FEC	FIRE EXTINGUISHER CABINET	O/	OVER	SST	STAINLESS STEEL
ALUM	ALUMINUM	FHC	FIRE HOSE CABINET	OC	ON CENTER	STC	SOUND TRANSMISSION CLASS
ANOD	ANODIZED	FHMS	FLAT HEAD MACHINE SCREW	OCC	OCCUPANT(S)	STD	STANDARD
APPROX	APPROXIMATE	FHWS	FLAT HEAD WOOD SCREW	OFD	OVERFLOW DRAIN	STL	STEEL
ARCH	ARCHITECT	FIN	FINISH	OFF	OFFICE	STOR	STORAGE
ASPH	ASPHALT	FIN FLR	FINISHED FLOOR	OF/CI	OWNER FURNISHED &	STRUCT	STRUCTURAL
		FIXT	FIXTURE		CONTRACTOR INSTALLED	SUSP	SUSPENDED
BD	BOARD	FLOUR	FLOURESCENT	ОН	OVERHEAD	SVCE	SERVICE
BFF	BELOW FINISHED FLOOR	FLR	FLOOR	OPNG	OPENING	SYM	SYMBOL
BITUM	BITUMINOUS	FO	FACE OF				
BLDG	BUILDING	FR	FIRE RATED	PA	PUBLIC ADDRESS	Т	TREAD
BLK	BLOCK	FRMG	FRAMING	PA	PLANTING AREA	T&B	TOP AND BOTTOM
BM	BEAM	FT	FOOT OR FEET	PH	PANIC HARDWARE	T&G	TONGUE AND GROOVE
вот	BOTTOM	FTG	FOOTING	PHS	PHILLIPS HEAD SCREW	TEL	TELEPHONE
BSMT	BASEMENT			PL	PLATE	TER	TERRAZZO
BTWN	BETWEEN	GA	GAGE	PLAM	PLASTIC LAMINATE	THK	THICK
BUR	BUILT-UP ROOFING	GALV	GALVANIZED	PLAS	PLASTER	THRES	THRESHOLD
50.1	20121 01 11001 1110	GB	GRAB BAR	PLYWD	PLYWOOD	TMPD	TEMPERED
CAB	CABINET	GEN	GENERAL	PNL	PANEL	TO	TOP OF
CB	CATCH BASIN	GFRC	GLASS-FIBER-REINF. CONC.	PR	PAIR	TOC	TOP OF CONCRETE
CBB	CEMENTITIOUS (BACKER) BOARD	GL	GLASS	PRCST	PRECAST	TOP	TOP OF PARAPET
CER	CERAMIC	GND	GROUND	PREFAB	PREFABRICATED	TOS	TOP OF STEEL
CG	CORNER GUARD	GSM	GALVANIZED SHEET METAL	PREP	PREPARATION	TOW	TOP OF WALL
CJ	CONTROL JOINT	GYP	GYPSUM	PT	PRESSURE TREATED	TPD	TOILET PAPER DISPENSER
CL	CENTER LINE	011	011 00W	PTD	PAINTED	TS	TUBE STEEL
CLG	CEILING	НВ	HOSE BIBB	PTD	PAPER TOWEL DISPENSER	TSCD	TOILET SEAT COVER DISPENSEI
CLO	CLOSET	HC	HOLLOW CORE	PTD/R	PAPER TOWEL DISPENSER & RECEP.	TWS	TACKABLE WALL SURFACE
CLF	CHAINLINK FENCE	HDR	HEADER	PTN	PARTITION	TYP	TYPICAL
CLF	CLEAR	HDW	HARDWARE	PVC	POLYVINYL CHLORIDE	IIF	TTFICAL
CLR ANOD	CLEAR CLEAR ANODIZED	HDWD	HARDWOOD	PVC	POLIVINIL CHLORIDE	LINITINI	UNFINISHED
CLR ANOD	CLASSROOM	HM		OT	QUARRY TILE	UNFIN UON	UNLESS OTHERWISE NOTED
			HOLLOW METAL HANDRAIL	QT OTV	QUANTITY		
CMU	CONCRETE MASONRY UNIT	HNDRL		QTY	QUANTITY	UR	URINAL
COL	COLUMN	HORIZ	HORIZONTAL	Б	DICED	VOT	VINIVI COMPOSITION THE
CONC	CONCRETE	HR	HOUR	R	RISER	VCT	VINYL COMPOSITION TILE
CONF	CONFERENCE	HT	HEIGHT	R	RADIUS	VERT	VERTICAL
CONN	CONNECTION	HVAC	HEATING, VENTILATING AND	RBR	RUBBER	VIF	VERIFY IN FIELD
CONSTR	CONSTRUCTION		AIR CONDITIONING	RCP	REFLECTED CEILING PLAN		
CONT	CONTINUOUS			RD	ROOF DRAIN		
CONTR	CONTRACTOR	IN	INCH	REBAR	REINFORCING STEEL BARS		
CORR	CORRIDOR	INCL	INCLUDING/INCLUDED	REF	REFERENCE		
CPT	CARPET	INFO	INFORMATION	REINF	REINFORCED		
CSK	COUNTER SUNK	INSUL	INSULATION	RELOC	RELOCATABLE		
CT	CERAMIC TILE	INT	INTERIOR	REQD	REQUIRED		
CTR	CENTER			REV	REVISION		
		JAN	JANITOR	RM	ROOM		
DBL	DOUBLE	JT	JOINT	RO	ROUGH OPENING		
DEMO	DEMOLITION			RWD	REDWOOD		
DET(S)	DETAIL(S)	KIT	KITCHEN	RWL	RAIN WATER LEADER		
DF `´	DRINKING FOUNTAIN						
DIA	DIAMETER	LAB	LABORATORY				
DIM	DIMENSION	LAM	LAMINATE				
DISP	DISPENSER	LAV	LAVORATORY				
DN	DOWN	LB	LAG BOLT				
DR	DOOR	LSC	LAY IN SUSPENDED CEILING				
DR OPNG	DOOR OPENING						
DS	DOWNSPOUT						
DWG(S)	DRAWING(S)						

#### SYMBOLS



IDENTIFICATION STAMP DIV. OF THE STATE ARCHITEC APP: 03-122086 INC: REVIEWED FOR SS | FLS | ACS | DATE: 07/11/2022

DESIGN

LISTEN COLLABORATE CREATE

610 E. Franklin Ave El Segundo, CA 90245

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www.csdadesigngroup.com **ARCHITECT STAMP** 



CONSULTANT

**CONSULTANT STAMP** 





3537 JOHNSON AVENUE EL MONTE, CA 91731

PROJECT NAME: ARROYO HIGH SCHOOL - NEW

**GREENHOUSE** 



**4921 CEDAR AVENUE EL MONTE, CA 91731** 

DESCRIPTION

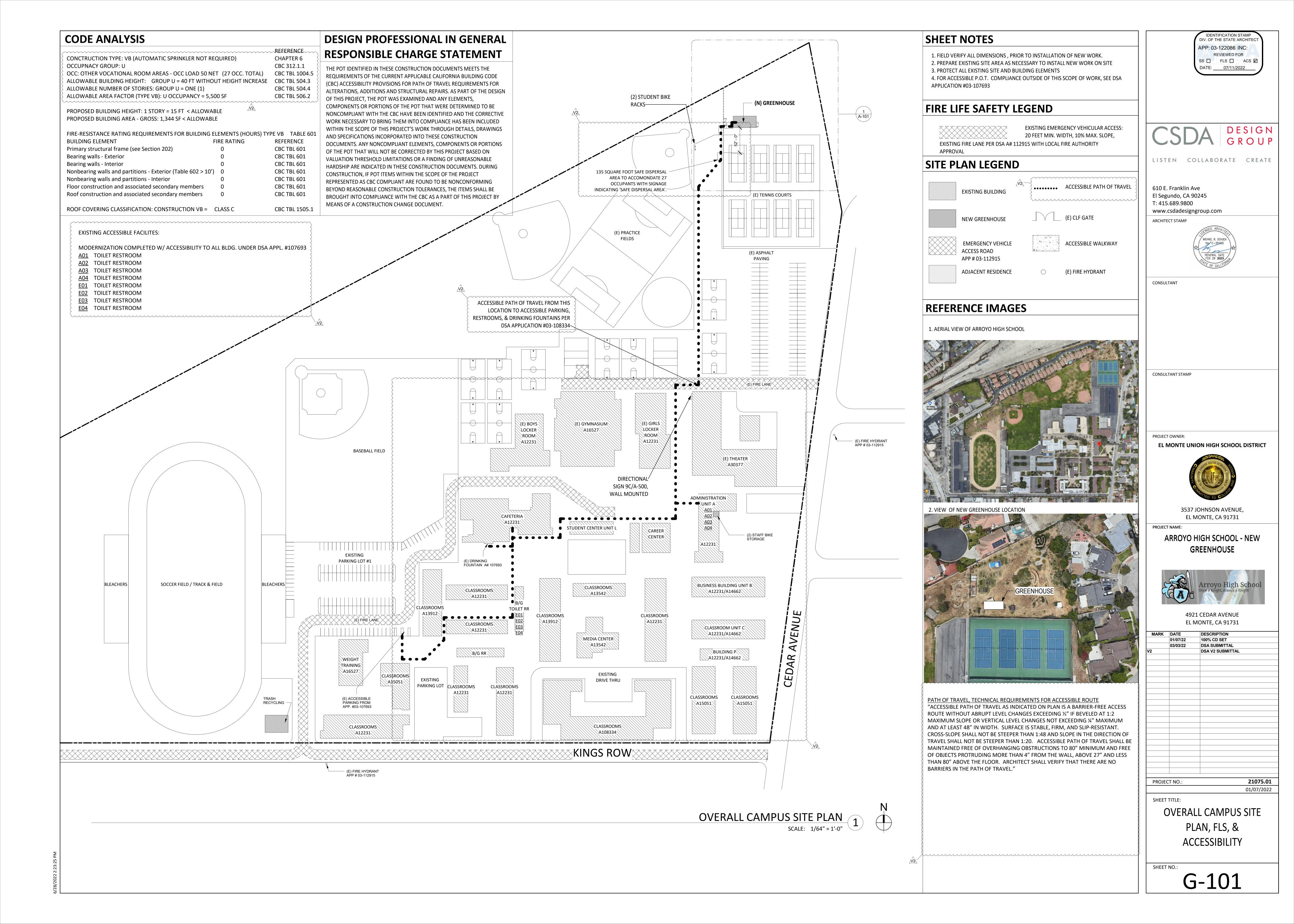
	01/07/22	100% CD SET	% CD SET
	03/03/22	DSA SUBMITTAL	A SUBMITTAL
		DSA V2 SUBMITTAL	A V2 SUBMITTAL
PROJ	ECT NO.:	21075.01	21075.01
		01/07/2022	01/07/2022

SHEET TITLE:

GENERAL NOTES, **ABBREVIATIONS &** 

SYMBOL LEGEND

SHEET NO.:



#### **GENERAL NOTES:**

- 1. ALL WORK PERFORMED IN THIS CONTRACT SHALL CONFORM TO:
  - A. PROJECT SPECIFICATIONS.
  - B. ALL SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) AND STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
- 2. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE WORK SPECIFIED ON THE DRAWINGS AND WITHIN THE VARIOUS NOTES SHOWN HEREIN.
- 3. THE EXISTING CONDITIONS SHOWN DIAGRAMMATICALLY ON THE PLANS ORIGINATED FROM AS BUILT DRAWINGS. CONTRACTOR TO VERIFY THE EXACT EXISTING CONDITIONS ANY DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT/IOR/OAR USING THE PROPER REQUEST FOR INFORMATION FORMS FOR PROPER ACTION.
- 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES IN THE AREA OF WORK WHICH ARE NOT INCLUDED IN THIS CONSTRUCTION. ANY DAMAGE RESULTING FROM THIS WORK SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

#### PROTECTION AND RESTORATION OF EXISTING IMPROVEMENTS:

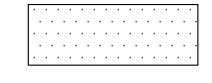
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE PROPERTY ADJACENT TO THE WORK PER SECTION 7-9 OF THE STANDARD SPECIFICATIONS. REMOVALS:
- EXISTING STRUCTURES AND SUBSTRUCTURES WHICH ARE INDICATED TO BE REMOVED IN THESE CONSTRUCTION DOCUMENTS SHALL BE TOTALLY REMOVED AND DISPOSED OF OFFSITE, UNLESS OTHERWISE INDICATED. EXISTING FACILITIES WHICH ARE DISCOVERED DURING CONSTRUCTION (INCLUDING WALLS, FOOTINGS AND FOUNDATIONS) SHALL BE REPORTED TO AND COORDINATED WITH THE ARCHITECT/PROJECT INSPECTOR AS TO THEIR REMOVAL. CONTRACTOR WILL NOTIFY THE PROJECT INSPECTOR IN WRITING PRIOR TO COMMENCING THE WORK.
- 7. ALL SITE PREPARATION AS INDICATED SHALL BE MADE UNDER THE CONTINUOUS INSPECTION OF THE PROJECT INSPECTOR. SECURE THE REQUIRED PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FOR THE CONSTRUCTION OF TRENCHES, SHORING OR EXCAVATIONS WHICH ARE 5 FEET OR DEEPER OR WORK THAT MAY JEOPARDIZE THE WORKERS. SHORING CALCULATIONS SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR APPROVAL AND PERMITTING.
- 8. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA SUFFICIENTLY DAMPENED TO CONTROL DUST CAUSED BY WORK ACTIVITIES AS REQUIRED BY THE CITY AND JURISDICTIONAL AGENCY.
- 9. ALL FILL OR BACKFILL SHALL BE COMPACTED 95% DENSITY PER ASTM D1557.
- 10. CONSTRUCTION STAKING AND ADJUSTMENTS FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR PAID FOR BY THE CONTRACTOR AND INCLUDED IN THE CONTRACT.
- 11. VOIDS RESULTING FROM REMOVAL WORK SHALL BE FILLED WITH SUITABLE MATERIALS APPROVED BY THE OWNER RETAINED GEOTECHNICAL ENGINEER AND COMPACTED TO 95% MAXIMUM DENSITY PER ASTM D-1557.
- 12. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL REMOVE EXISTING CONSTRUCTION FENCING, APPURTENANCES AND OFFICE TRAILERS FROM THE SITE, PAVEMENT SHALL BE PATCHED AND REPAIRED TO MATCH ADJACENT PAVEMENT AND APPROVED BY THE PROJECT INSPECTOR AS APPLICABLE.
- 13. ANY ADDITIONAL SURVEYS OR TESTING AS A RESULT OF CONTRACTOR ERROR OR MISINFORMATION WILL BE CHARGED TO THE CONTRACTOR.
- 14. CONSTRUCT STRAIGHT GRADES BETWEEN ELEVATIONS SHOWN ON PLAN UNLESS INTERRUPTED BY A GRADE
- 15. GRADE LAWN, TURF, AND PLANTING AREA 1-1/2" BELOW DESIGN GRADES INDICATED.
- 16. MAINTAIN A RECORD OF LOCATION OF UTILITY MARKERS ON THE AS-BUILT PLAN AND REINSTALL THEM AFTER PAVING. REPLACE BENT OR UNUSABLE MARKERS FOR ALL UTILITY LINES DISCOVERED WITHIN THE WORK AREA. INSTALL BRASS UTILITY MARKERS INDICATING DIRECTIONS OF LINES AT ALL CHANGES IN DIRECTIONS AFTER PAVING. INFORM THE SURVEYOR TO LOCATE AND RECORD ACTUAL LOCATIONS.

CHANGE LINE. ANY DEVIATION FROM THE GRADING PLAN MUST HAVE PRIOR APPROVAL FROM THE ENGINEER.

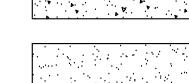
- 17. IF EXISTING UTILITIES ARE EXPOSED OR DETERMINED TO EXIST UNDER THE ROUGH GRADING SITE. CONTRACTOR SHALL PROVIDE A FLAGGED STAKE THAT INDICATES THEIR LOCATION, TYPE OF UTILITY, SIZE, PIPE MATERIAL AND DEPTH. STAKES SHALL BE INSTALLED NO LESS THAN 50' ON CENTER ON STRAIGHT LINES AND AT BENDS.
- 18. UNCLOG. CLEAN AND FLUSH THE WORK AREA DRAINAGE SYSTEM AFTER PAVING AND IMMEDIATELY BEFORE A
- 19. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- 20. ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE OR A LEGAL DUMPSITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMPSITE ARE REQUIRED AND MUST BE PROVIDED TO THE INSPECTOR OF RECORD UPON REQUEST.
- 21. SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY A LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE INSPECTOR OF RECORD, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
- 22. IF GRADING AUTHORIZED BY THIS PLAN IS TO EXTEND THROUGH THE RAINY SEASON, OCTOBER 1 THROUGH APRIL 15 OF THE FOLLOWING YEAR, SEPARATE UPDATED PLANS FOR EROSION CONTROL MUST BE SUBMITTED PRIOR TO OCTOBER TO EMUHSD FOR APPROVAL. CONTRACTOR TO PROVIDE STORM WATER PREVENTION PLAN, PRE-CONSTRUCTION AND POST CONSTRUCTION BMPs AND UPDATE FROM TIME TO TIME TO COMPLY WITH THE REQUIREMENTS.
- 23. CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND THE PERIMETER OF THE CONSTRUCTION SITE AND STAGING AREA. FENCING SHALL BE MINIMUM 8' TALL AND SHALL HAVE A DUST/VISION BARRIER ALONG THE FULL LENGTH. THE DUST/VISION BARRIER SHALL EXTEND THE LENGTH OF THE CONSTRUCTION SITE. THE FENCING SHALL BE ANCHORED TO THE SURFACE AND SHALL BE ABLE TO WITHSTAND A 200-POUND HORIZONTAL POINT LOAD IN ANY DIRECTION. WORK AREA AND STAGING AREA SHALL BE SECURE AT ALL TIMES.
- 24. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUND WATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
- 25. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- 26. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE THE ARCHITECT WITH A COMPLETE SET OF REPRODUCIBLE "AS-BUILT" DRAWINGS OF ALL WORK PERFORMED UNDER THIS CONTRACT. AS SHOWN WITHIN THESE CONSTRUCTION DRAWINGS. ALL FIELD CHANGES SHALL BE SHOWN IN DETAIL ON THE "AS-BUILT" DRAWINGS AND SHALL INCORPORATE AS A MINIMUM, NEW ELEVATIONS, GRADES AND ALIGNMENT OF UNDERGROUND FACILITIES WITH DIMENSIONAL TIES TO BUILDINGS OR OTHER VISIBLE IMPROVEMENTS.
- 27. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.

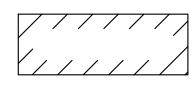
#### LEGEND:

CLEAR, GRUB AND REMOVE EXISTING TURF/PLANTER/EXPOSED SUBGRADE AREA. REMOVE EXISTING SHRUBS AND ROOTS IN THEIR ENTIRETY.



DECOMPOSED GRANITE





GREENHOUSE LINE	///////////////////////////////////////
GRADE BREAK	
FLOWLINE	· · · ·
CHAIN LINK FENCE	xxx
TREE	

#### **ABBREVIATIONS**

AMERICAN SOCIETY FOR TESTING AND MATERIALS

ASPHALT CONCRETE

BACK OF SIDEWALK BOULEVARD BOTTOM OF BOTTOM STEPS BOTTOM BOTTOM OF WALL BUILDING  CATCH BASIN CEMENT CONCRETE CHAIN LINK CLEAN OUT COLUMN COMMUNICATION CURB DRAIN  DOWN SPOUT DRINKING FOUNTAIN DRY WELL	BSW BLVD BBS BOT BWAL, BW BLDG  CB CC, CONC C/L CO COL COMM CD  DS DF DW
DRAWING  EAST EDGE OF CONCRETE EDGE OF GUTTER ELECTRIC PULL BOX ELECTRICAL ELECTRICAL ELECTRICAL ELECTRICAL ELECTRICAL ELECTRICAL ELEVATION EXISTING EXPANSION JOINT  FIRE ALARM EINISH ELOOP	DWG  E EC EG EPB ELEC E-PNL ELEV EXIST, (E) EJ
FINISH FLOOR FINISH SURFACE FIRE HYDRANT FIRE SPRINKLER RISER FLAGPOLE FLOOR DRAIN FLOWLINE	FF FS FH FSR FP FD FL
GATE POST GRADE BREAK GROUND PULL BOX GROUND HEATING, VENTILATION & AIR CONDITIONING	GP GB GPB GND HVAC
HORIZONTAL  IRRIGATION  IRRIGATION CONTROL VALVE	H IRR ICV
LIGHT POST	LP
MAXIMUM METAL STORAGE CONTAINER MINIMUM MOWING STRIP	MAX MSC MIN MS
NORTH	N
ON CENTER OVER HANG	OC
PANEL BOX PARKING METER PATTERED CONCRETE PLANTER AREA POWER POLE POWER PULL BOXES	O/H PNL PM PCC PA PP PWR PB
RADIUS REMOTE CONTROL VALVE	R RCV
SEWER SEWER CLEAN OUT SEWER PULL BOX SIGNAL SOUTH STEEL STEEL STEEL POST STREET STREET LIGHT STREET LIGHT PULL BOX	SWR SCO SPB SIG S STL SP ST SL SLPB
TELEPHONE THRESHOLD TRAFFIC SIGNAL PULLBOX TRANSFORMER TOP OF BOTTOM STEPS TOP OF CURB TOP OF GRATE TOP OF TOP STEPS TOP OF WALL TRUNCATED DOME PADS TYPICAL	TEL THR TSPB TRANS TBS TC TG TTS TW TDP TYP

#### ABBREVIATIONS (cont):

UTILITY	UTL
VAULT VERTICAL	VLT V
WATER, WEST WATER FAUCET WATER METER PULL BOX WATER PULL BOX WATER VALVE, METER	WTR, W WF WMPB WPB WV, WM
YARD BOX	YB

#### SHEET INDEX:

SHEET NO.	DESCRIPTION
C-100	GENERAL NOTES, LEGENDS AND ABBREVIATIONS
C-200	SITE DEMOLITION PLAN AND SITE CONTROL PLAN
C-300	SITE GRADING AND SITE UTILITY PLAN
C-400	SITE EROSION PLAN
C-410	EROSION DETAILS

IDENTIFICATION STAMP DIV. OF THE STATE ARCHITEC APP: 03-122086 INC: REVIEWED FOR SS FLS ACS DATE: 07/11/2022

LISTEN COLLABORATE CREATE

610 E. Franklin Ave El Segundo, CA 90245 [T]: 310.821.9200 www.csdadesigngroup.com

ARCHITECT STAMP

CONSULTANT:



CONSULTANT STAMP



PROJECT OWNER:



3537 JOHNSON AVENUE

EL MONTE, CA, 91731 PROJECT NAME:

ARROYO HIGH SCHOOL



4921 CEDAR AVENUE

EL MONTE, CA, 91731

<b>IARK</b>	DATE	DESCRIPTION
	01-07-2022	100% CD SET
		DSA SUBMITTAL
	03-03-2022	DOM SODIVITI IAL

PROJECT NO.:

SHEET TITLE:

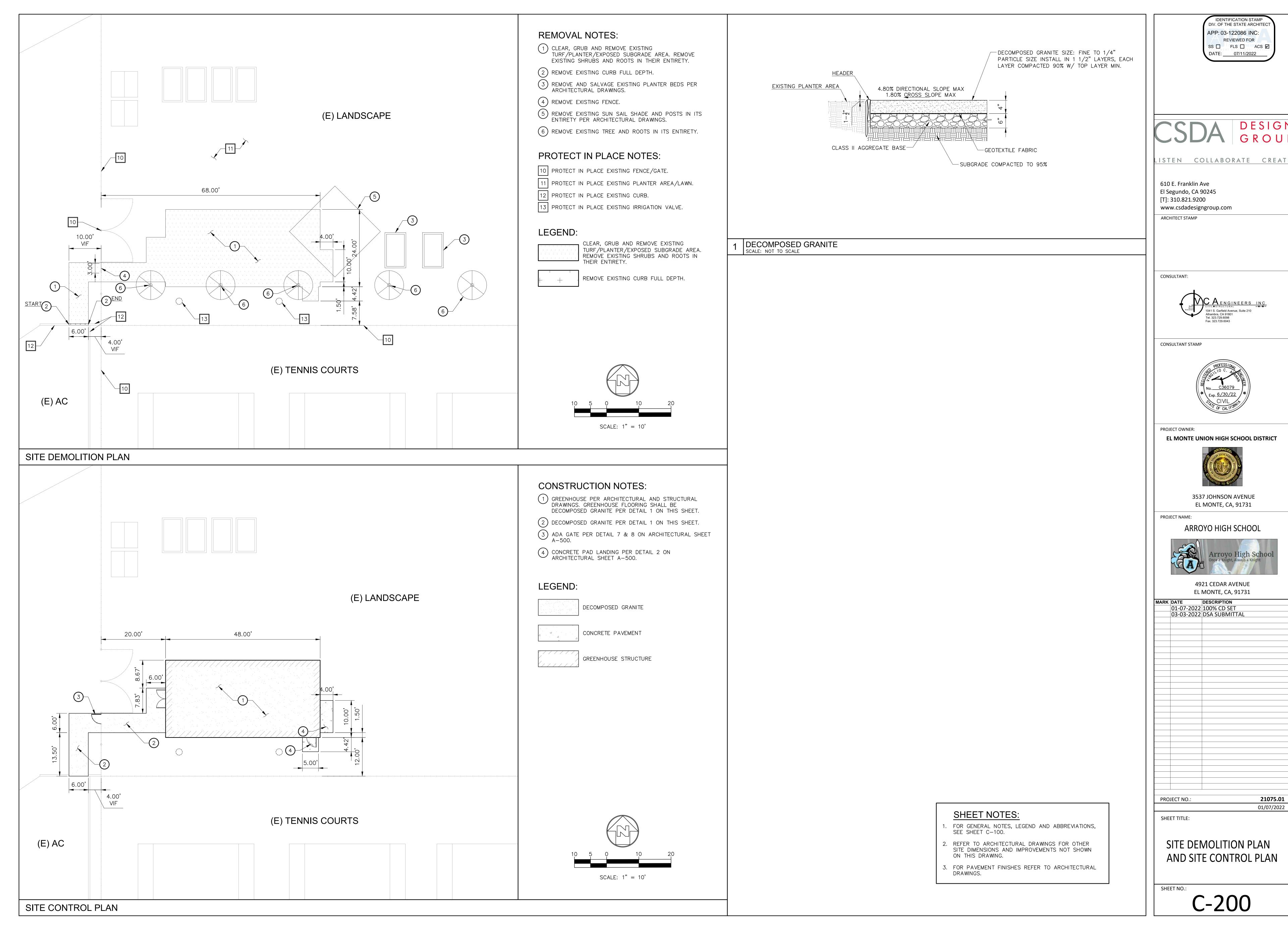
GENERAL NOTES, LEGEND AND ABBREVIATIONS

SHEET NO.:

C-100

21075.01

01/07/2022



IDENTIFICATION STAMP DIV. OF THE STATE ARCHITECT SS ☐ FLS ☐ ACS ☑

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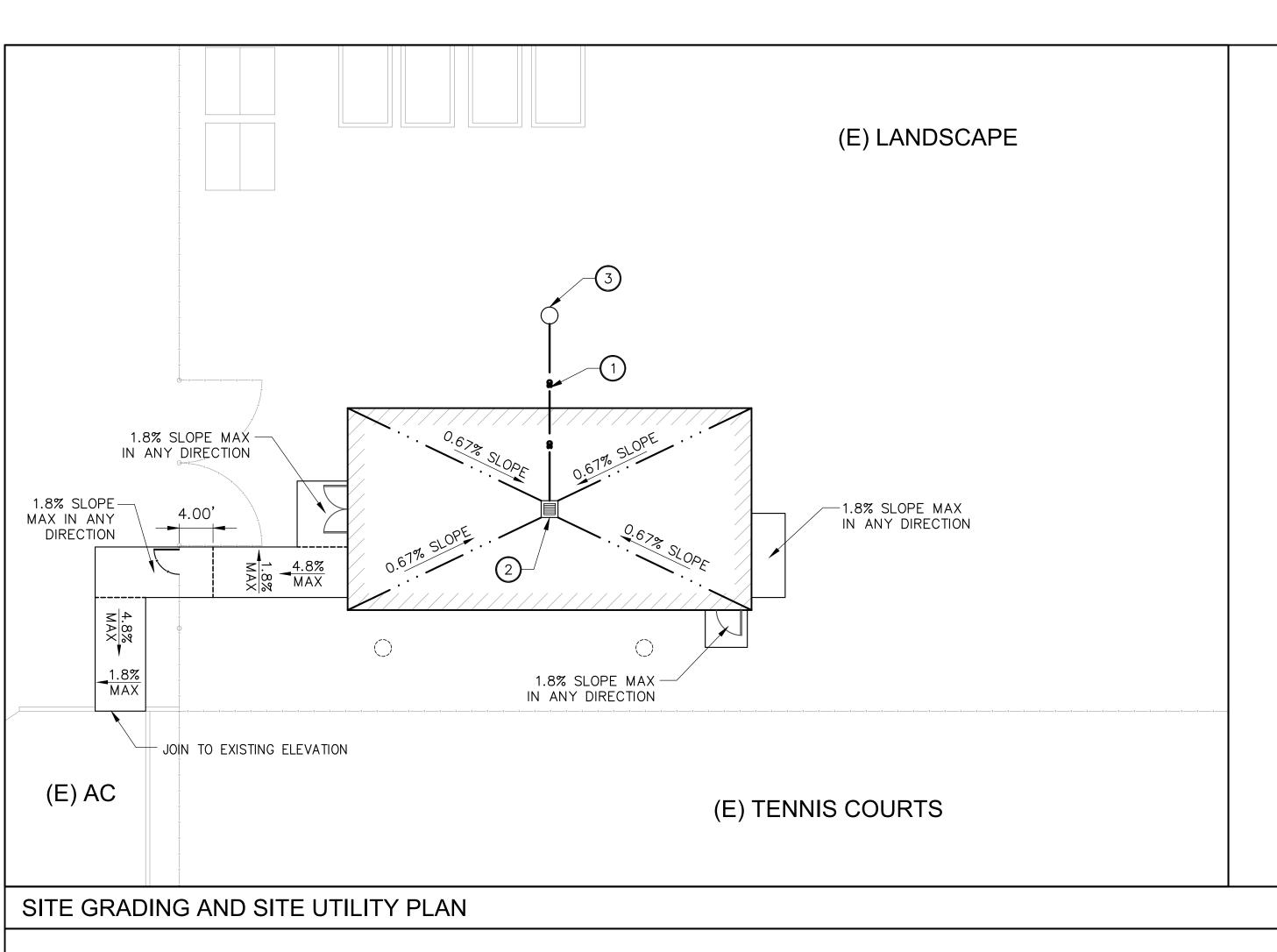
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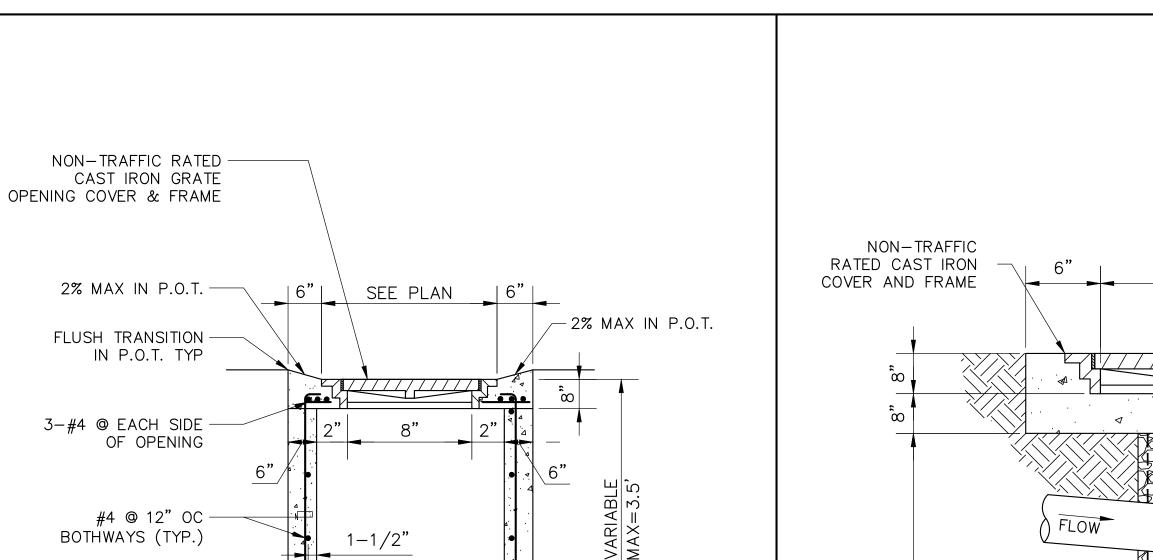


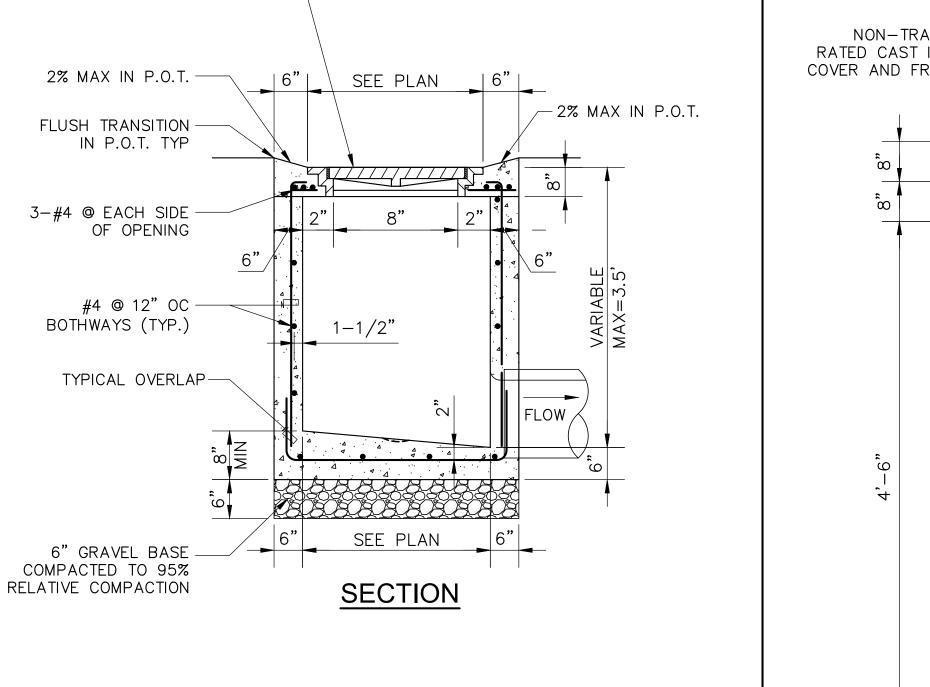


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SITE DEMOLITION PLAN AND SITE CONTROL PLAN







### NOTES:

OPENINGS.

CATCH BASIN DETAIL

NOT TO SCALE

PIPE WHERE

OCCURS

- 1. USE 3/4" DIA. PIPE BAR SPACERS ASSEMBLED ON (2) 1/2" DIA. RODS WITH THREADS AND NUTS AT BOTH ENDS.
- 2. ALL METAL PARTS SHALL BE GALVANIZED AFTER FABRICATION AND WELDING, AND BEFORE ASSEMBLING.
- 3. FRAME AND GRATE SHALL BE SIMILAR TO ALHAMBRA FOUNDRY CO. LTD. SERIES MODEL NO. 1581 OR BROOKS PRODUCTS, INC. OR APPROVED EQUAL. GRATES MUST COMPLY WITH ALL ADA REQUIREMENTS.
- 4. GRATES SHALL BE OF VANDAL-RESISTANT CONSTRUCTION WITH 1/2" MAX
- 5. PROVIDE 1/2" MAX GRID/OPENINGS IN GRATING IN THE DIRECTION OF TRAFFIC FLOW UNLÉSS OTHERWISE NOTED HEREIN.
- 6. INSTALL FOSSIL FILTER, KRISTAR, (800) 579-8819, FLOGARD MODEL OR APPROVED EQUAL.
- 7. PROVIDE "NO DUMPING SYMBOL" ON THIS DETAIL.

1/2" C.I. INLET

OPENING

PLAN

PROVIDE 1/2" EXP.

BITUMINOUS FILLER

— 1/2" MAX. OPENING

EACH WAY

WHEN ADJ. TO RIGID PAVEMENT/STRUCTURE

JOINT WITH

— FLOW LINE

- 7.1. PROVIDE 8" MIN DIAMETER FOR STENCIL.
- 8. SLOPE ADJACENT PAVEMENT AT 2% MAX TOWARDS GRATE WHEN PLACED WITHIN ACCESSIBLE PATH OF TRAVEL PER ARCHITECTURAL DRAWINGS



## NOTES:

**CONSTRUCTION NOTES:** 

(0.50% SLOPE MINIMUM)

(2) INSTALL CATCH BASIN PER DETAIL 1 ON THIS SHEET.

(3) INSTALL DRY WELL PER DETAIL 2 ON THIS SHEET.

(1) INSTALL 6" PVC SCHEDULE 40 STORM DRAIN LINE PER DETAIL 3 ON THIS SHEET.

CONTRACTOR TO VERIFY INVERT ELEVATION ON FIELD AND PROVIDE POSITIVE DRAINAGE

FROM PROPOSED CATCH BASIN TO POINT OF CONNECTION AT PROPOSED DRY WELL.

SCALE: 1" = 10'

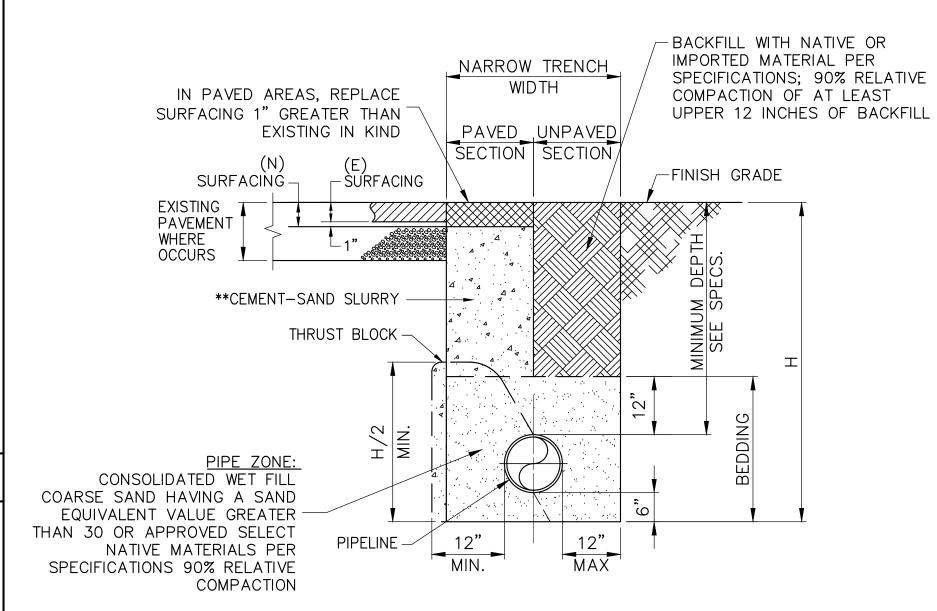
1. LOCATE DRYWELL AT LOWEST POINT OF DEPRESSION AND NOT LESS THAN 10 FEET FROM STRUCTURES, PROPERTY LINES, WATER TABLE AND SIGNIFICANT SLOPES.

1'-0"

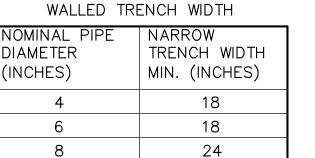
2. MANHOLE COVER SHALL BE OF VANDAL-RESISTANCE CONSTRUCTION. WATER-TIGHT MANHOLE COVER AND FRAME PER ALHAMBRA FOUNDRY COMPANY, LTD. PLATE NUMBER A-1266B.

#### SHEET NOTES:

- FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS, SEE SHEET C-100.
- REFER TO ARCHITECTURAL DRAWINGS FOR OTHER SITE DIMENSIONS AND IMPROVEMENTS NOT SHOWN ON THIS DRAWING.
- IT SHALL BE THE RESPOSIBILITY OF THE CONTRACTOR TO VERIFY ALL SURFACE AND/OR UNDERGROUND UTILITIES IN CONFLICT WITH THE PROPOSED DEMOLITION AND DESIGN ITEMS, CONTRACTOR SHALL REPORT ANY DISCREPANCIES AND/OR CONSTRUCTION RELATED ISSUES TO THE OWNER OR DESIGN TEAM PRIOR TO THE COMMENCEMENT OF
- 4. CONTRACTOR TO VERIFY IN FIELD THE JOINING TO EXISTING ELEVATION AND THE CURRENT SITE CONDITION WITH THE DESIGN GRADES. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER OR DESIGN TEAM PRIOR TO THE COMMENCEMENT OF
- CONTRACTOR SHALL VERIFY DEMOLITION PLAN WITH EXISTING CONDITIONS AND REPORT ANY MISSING ITEMS THAT REQUIRE DEMOLITION PRIOR TO BID.



NARROW UNSUPPORTED VERTICAL



\*\* CEMENT-SAND SLURRY = MIN. 2-SACK MIX HAVING A SLUMP

NO GREATER THAN 5 INCHES.

#### NOTES:

- CONCRETE COLLAR

- FILL PIPE WITH ½" - ¾" GRAVEL

— 8"Ø PERFORATED PVC PIPE

– ¾" GRAVEL

-3/4" GRAVEL BASE

'HOLES @ 8" O.C.

WRAP PIPE WITH FILTER FABRIC

MIRAFI 140N OR APPROVED EQUAL.

1. PAVEMENT FINISH SURFACE SHALL BE A SMOOTH CONTINUATION OF ADJOINING PAVED

- 2. PIPELINE BEDDING MATERIAL, TRENCH BACKFILL MATERIAL, AND COMPACTION SHALL
- COMPLY WITH SSPWC. 3. BEDDING MATERIALS CONSISTING OF SAND, GRAVEL, OR CMB SHOULD BE USED TO BACKFILL AROUND UTILITY PIPES TO APPROXIMATELY ONE FOOT ABOVE THE TOP OF THE PIPE. ONSITE SOILS WHICH HAVE A SAND EQUIVALENT (SE) OF 30 OR GREATER CAN ALSO BE USED AS BEDDING MATERIAL. NO MORE THAN 30% OF BACKFILL VOLUME SHOULD BE LARGER THAN 3/4". PRIOR TO PLACINGTHE PIPES, THE PIPE TRENCH SUBGRADE SHOULD BE OBSERVED BY A REPRESENTATIVE OF THE PROJECT GEOTECHNICAL ENGINEER. IN THE LARGEST DIMENSION. IMPORTED BACKFILL SHOULD BE APPROVED BY
- 4. IT IS RECOMMENDED THAT UTILITY TENCHES ARE NOT BE OR PLACED PARALLED TO AND BELOW A 1½:1 PLANE PROJECTED DOWN FROM THE BASE OF THE OUTER EDGE OF A CONVENTIONAL FOUNDATION.

PROJECT GEOTECHNICAL CONSULTANT PRIOR TO DELIVERY AT THE SITE.

- 5. IF THE EXPOSED SUBGRADE IS LOOSE OR UNSTABLE, THE UNSUITABLE SUBGRADE SOIL MUST BE EXCAVATED AND REPLACED WITH BEDDING MATERIAL. BEDDING MUST BE PLACED
- UNIFORMLY ON EACH SIDE OF THE PIPE AND MECHANICALLY COMPACTED.

6. FLOODING OR JETTING TO DENSIFY THE BEDDING MATERIALS IS NOT ALLOWED DUE TO

- THE CLAYEY NATURE OF ONSITE SOILS. 7. THE BACKFILL FOR THE REMAINING PORTION OF THE TRENCH ABOVE THE PIPES SHOULD BE PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES, MOISTURE-CONDITIONED WITHIN
- OPTIMUM AND 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT, AND MECHANICALLY COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION IN ACCORDANCE WITH ASTM D1557. THINNER LIFTS MAY BE NECESSARY TO ACHIEVE THE RECOMMENDED LEVEL OF COMPACTION OF THE BACKFILL DUE TO EQUIPMENT LIMITATIONS.
- 8. THE HIGHER COMPACTION IS REQUIRED FOR FILL MATERIAL THAT HAS LESS THAN FIFTEEN PERCENT (15%) OF THE MATERIAL FINER THAN 0.005MM.
- 9. TRENCHES IN PAVEMENT AREAS SHOULD BE CAPPED WITH AT LEAST 12 INCHES OF COMPACTED, ON-SITE SOIL SIMILAR TO THAT OF THE ADJOINING SUBGRADE. THE UPPER 12 INCHES OF TRENCH BACKFILL IN AREAS TO BE PAVED SHOULD BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. SPECIAL CARE SHOULD BE TAKEN IN THE CONTROL OF UTILITY TRENCH BACKFILLING IN THE PAVEMENT AREAS.
- 10. PIPELINE BEDDING MAY BE LEAN CONCRETE CONSISTING OF TWO SACKS OF PORTLAND CEMENT PER CUBIC YARD OF SLURRY IN LEIU OF SAND AS LONG AS SLURRY IS VIBRATED IN PLACE.
- 11. MINIMUM COVERAGE OF UTILITIES IS 36-INCHES. IF THIS CANNOT BE ATTAINED, CAP WITH 1-SACK CONCRETE SLURRY. IN PAVING AREAS, BACKFILL TRENCHES WITH SLURRY UP TO BOTTOM OF PAVING. IN LANDSCAPE AREAS, SLURRY IS ALLOWED UP TO TWO-FEET BELOW GRADE.
- 12. PROVIDE METALLIC WARNING TAPE 12-INCHES BELOW GRADE ABOVE UTILITIES.
- 13. A MINIMUM OF 6-INCH THICK BEDDING MATERIAL SHALL BE PLACED BELOW THE BOTTOM OF UTILITY LINES, ON A FIRM AND UNYIELDING SUBGRADE. THE BEDDING MATERIAL SHALL MEET THE SPECIFICATIONS PROVIDED IN THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK). SAND OR GRAVEL SHALL BE COMPACTED IN ACCORDANCE WITH GREENBOOK SPECIFICATIONS.
- 14. THE PIPE INVERT SHALL BE UNDERLAIN WITH AT LEAST 6" OF BEDDING MATERIAL CONSISTING OF SELECT SANDY SOILS WITH A SAND EQUIVALENT (SE) OF 30 OR GREATER AS SPECIFIED IN SECTION 306-1.2.1 OF THE GREENBOOK. BEDDING MATERIAL BELOW THE PIPE INVERT SHALL BE COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION AS DETERMINED BY ASTM D1557.
- 15. THE PIPE ZONE BACKFILL SHALL EXTEND FROM THE INVERT OF THE PIPE TO A LEAST 6" ABOVE THE PIPE. THIS ZONE SHALL ALSO BE BACKFILLED WITH SANDY MATERIAL SIMILAR TO THE BEDDING AND MECHANICALLY COMPACTED TO 90 PERCENT RELATIVE COMPACTION.

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APP: 03-122086 INC:

DATE: 07/11/2022

CONSULTANT:



CONSULTANT STAMP



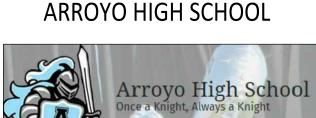
PROJECT OWNER:



3537 JOHNSON AVENUE

EL MONTE, CA, 91731

PROJECT NAME:	



RK DATE	DESCRIPTION	-
	EL MONTE, CA, 91731	
	4921 CEDAR AVENUE	

01-07-2022	100% CD SET
03-03-2022	100% CD SET DSA SUBMITTAL
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01/07/2022 SHEET TITLE:

21075.01

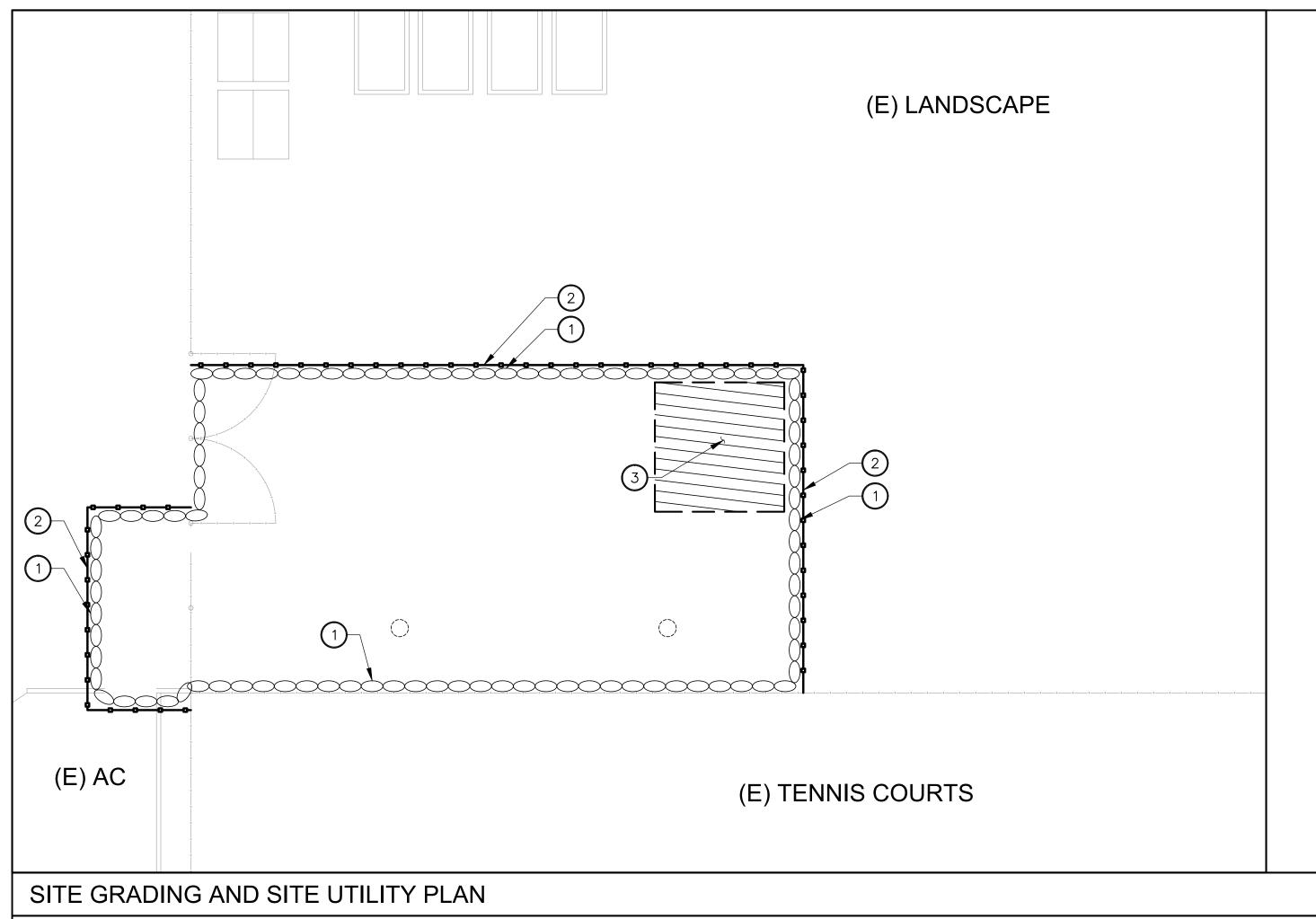
SITE GRADING AND SITE UTILITY PLAN

SHEET NO.:

PROJECT NO.:

C-300

3 | TRENCH SECTION 2 DRY WELL
NOT TO SCALE NOT TO SCALE



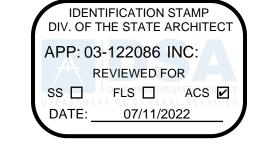
#### **CONSTRUCTION NOTES:**

- 1) INSTALL GRAVEL BAGS UNTIL THE COMPLETION OF THE SITE CONSTRUCTION. REFER TO DETAIL 2 ON SHEET C-410.
- 2 CONSTRUCTION FENCE.
- 3 PROPOSED AREA FOR MATERIAL STORAGE. CONTRACTOR TO VERIFY EXACT LOCATION AND COORDINATE WITH THE OAR. REFER TO DETAIL 3 ON SHEET C-410.
- 4 GRAVEL BAG CHECKDAM PER DETAIL 4 ON SHEET C-410.

#### LEGEND:

GRAVEL BAG

CONSTRUCTION FENCE





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CONSULTANT:



**CONSULTANT STAMP** 



PROJECT OWNER: **EL MONTE UNION HIGH SCHOOL DISTRICT** 



3537 JOHNSON AVENUE EL MONTE, CA, 91731

PROJECT NAME:

ARROYO HIGH SCHOOL



4921 CEDAR AVENUE EL MONTE, CA, 91731

MARK DATE DESCRIPTION

01-07-2022	100% CD SET DSA SUBMITTAL
03-03-2022	DSA SUBMITTAL

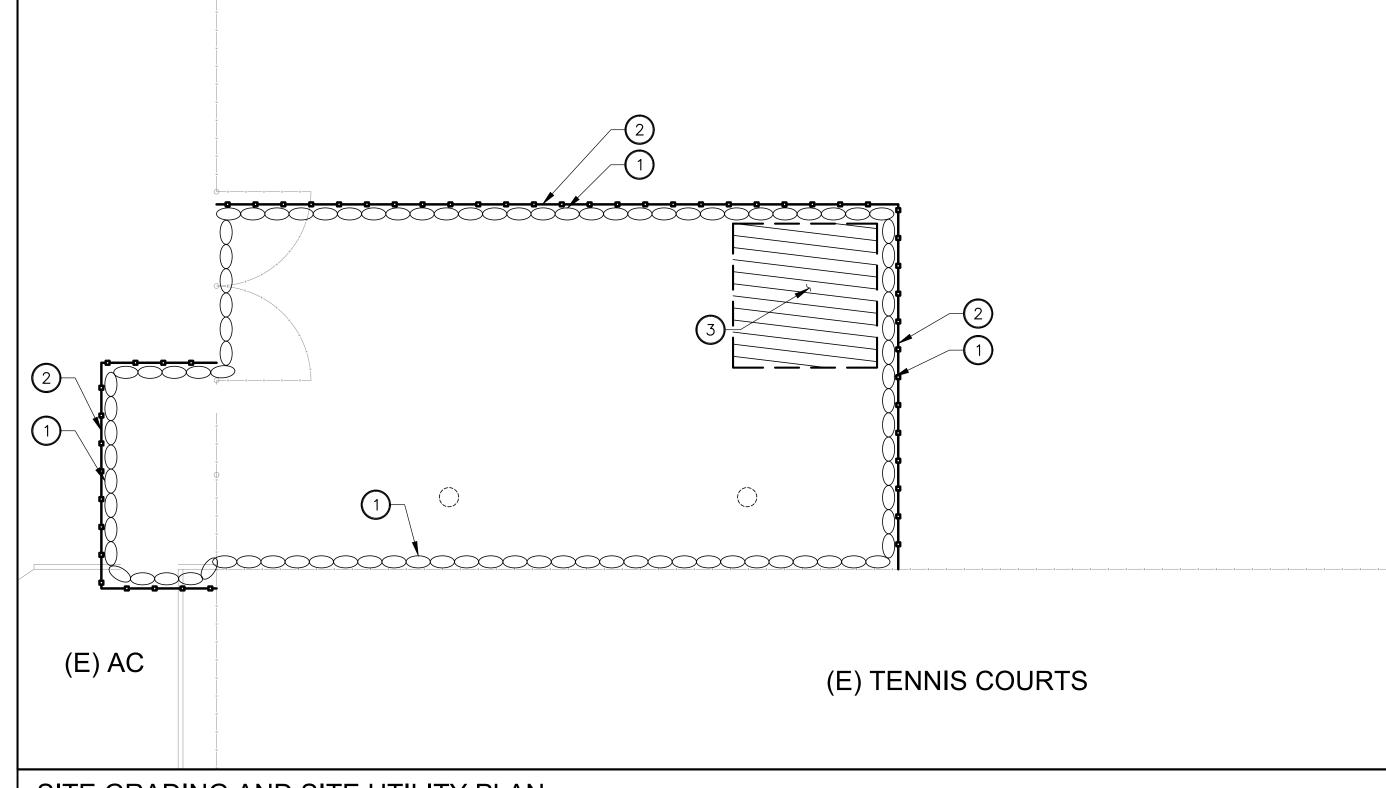
21075.01 PROJECT NO.: 01/07/2022

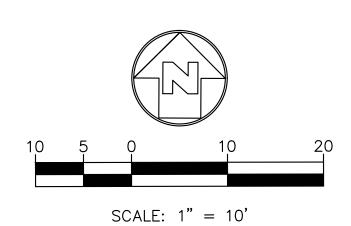
SHEET TITLE:

SITE EROSION PLAN

SHEET NO.:

C-400





#### **GENERAL NOTES:**

- 1. IN CASE OF EMERGENCY, CALL 911.
- 2. A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
- EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE ARCHITECT IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
- 4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
- 5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
- 6. A GUARD SHALL BE POSTED ON SITE WHEREVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
- 7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE QSP. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
- 8. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
- 9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES, THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE ARCHITECT.
- 10. EVERY EFFORT MUST BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITE AT ALL TIMES.
- 11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- 12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- 13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- 14. EXCESS OR WASTE CONCRETE MAY NOT BE WASTED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- 15. CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP's ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY OAR/IOR AND ARCHITECT (COPIES OF SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST). AT HIS/HER EXPENSE THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A QUALIFIED SWPPP PRACTITIONER FOR THE DURATION OF THE PROJECT.
- 16. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- 17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- 18. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- 19. AS THE ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED. MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION QUALITY."
- 20. THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE "CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK" — JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE ARCHITECT.

#### EROSION CONTROL

- EC1 SCHEDULING EC2 - PRESERVATION OF EXISTING VEGETATION EC3 - HYDRAULIC MULCH
- EC4 HYDROSEEDING EC5 — SOIL BINDERS
- EC6 STRAW MULCH
- EC7 GEOTEXTILES AND MATS EC8 - WOOD MULCHING
- EC9 EARTH DIKES AND DRAINAGE SWALES EC10 - VELOCITY DISSIPATION DEVICES
- EC11 SLOPE DRAINS EC12 - STREAMBANK STABILIZATION
- EC13 POLYACRYLAMIDE

#### TEMPORARY SEDIMENT CONTROL

- SE1 SILT FENCE SE2 - SEDIMENT BASIN SE3 - SEDIMENT TRAP
- SE4 CHECK DAM SE5 - FIBER ROLLS
- SE6 GRAVEL BAG BERM SE7 - STREET SWEEPING AND VACUUMING
- SE8 GRAVEL BAG BARRIER SE9 - STRAW BALE BARRIER
- SE10 STORM DRAIN INLET PROTECTION

TC3 - ENTRANCE/OUTLET TIRE WASH

#### EQUIPMENT TRACKING CONTROL

TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT TC2 - STABILIZED CONSTRUCTION ROADWAY

#### NON-STORMWATER MANAGEMENT

- NS1 WATER CONSERVATION PRACTICES NS2 - DEWATERING OPERATIONS NS3 - PAVING AND GRINDING OPERATIONS
- NS4 TEMPORARY STREAM CROSSING
- NS5 CLEARWATER DIVERSION NS6 - ILLICIT CONNECTION/DISCHARGE
- NS7 POTABLE WATER/IRRIGATION
- NS8 VEHICLE AND EQUIPMENT CLEANING NS9 - VEHICLE AND EQUIPMENT FUELING
- NS10 VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 PILE DRIVING OPERATIONS NS12 - CONCRETE CURING
- NS13 CONCRETE FINISHING
- NS14 MATERIAL AND EQUIPMENT USE NS15 - DEMOLITION ADJACENT TO WATER NS16 - TEMPORARY BATCH PLANTS

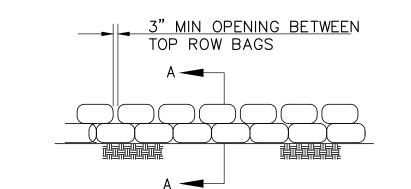
#### WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

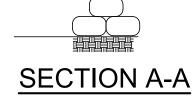
- WM1 MATERIAL DELIVERY AND STORAGE
- WM2 MATERIAL USE WM3 - STOCKPILE MANAGEMENT
- WM4 SPILL PREVENTION AND CONTROL WM5 - SOLID WASTE MANAGEMENT
- WM6 HAZARDOUS WASTE MANAGEMENT WM7 - CONTAMINATION SOIL MANAGEMENT WM8 - CONCRETE WASTE MANAGEMENT
- WM9 SANITARY/SEPTIC WASTE MANAGEMENT WM10 - LIQUID WASTE MANAGEMENT

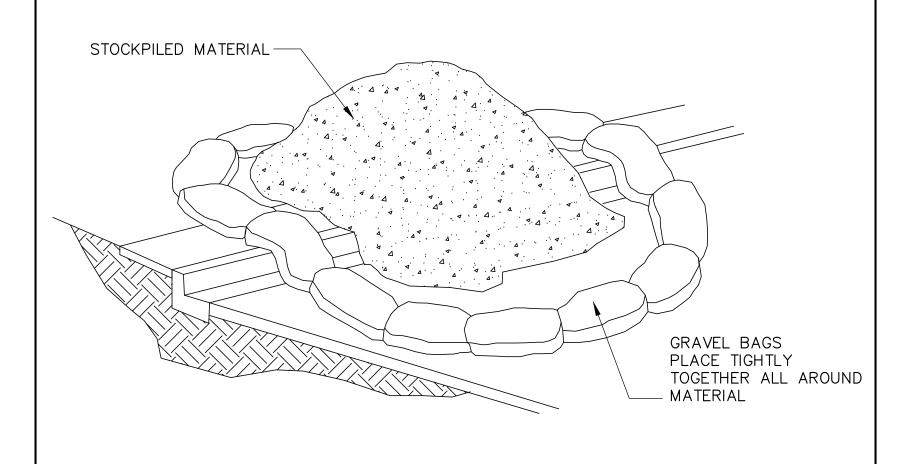
WIND EROSION CONTROL

WE1 - WIND EROSION CONTROL

#### GENERAL NOTES



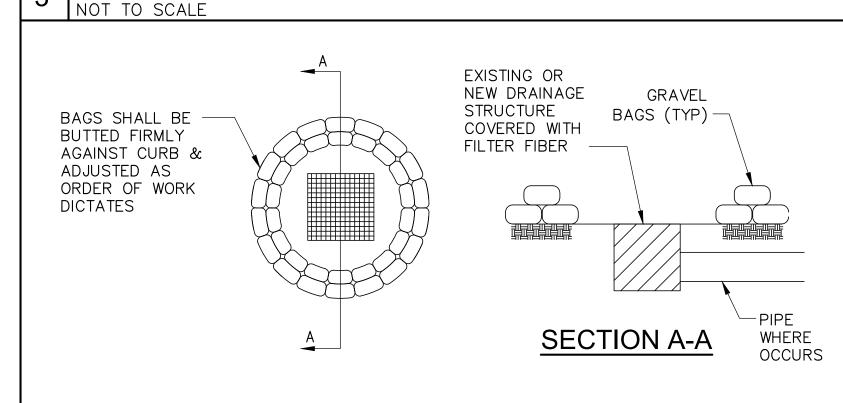




#### NOTES:

- 1. DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
- . ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON—SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.

#### MATERIAL STORAGE



GRAVEL BAG CHECKDAM

NOT TO SCALE

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CONSULTANT:

ARCHITECT STAMP



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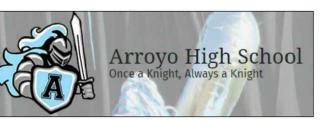
PROJECT OWNER: **EL MONTE UNION HIGH SCHOOL DISTRICT** 



3537 JOHNSON AVENUE EL MONTE, CA, 91731

PROJECT NAME:

ARROYO HIGH SCHOOL



**4921 CEDAR AVENUE** EL MONTE, CA, 91731

MARK DATE DESCRIPTION

01-07-2022	100% CD SET
03-03-2022	DSA SUBMITTAL

SHEET TITLE:

PROJECT NO.:

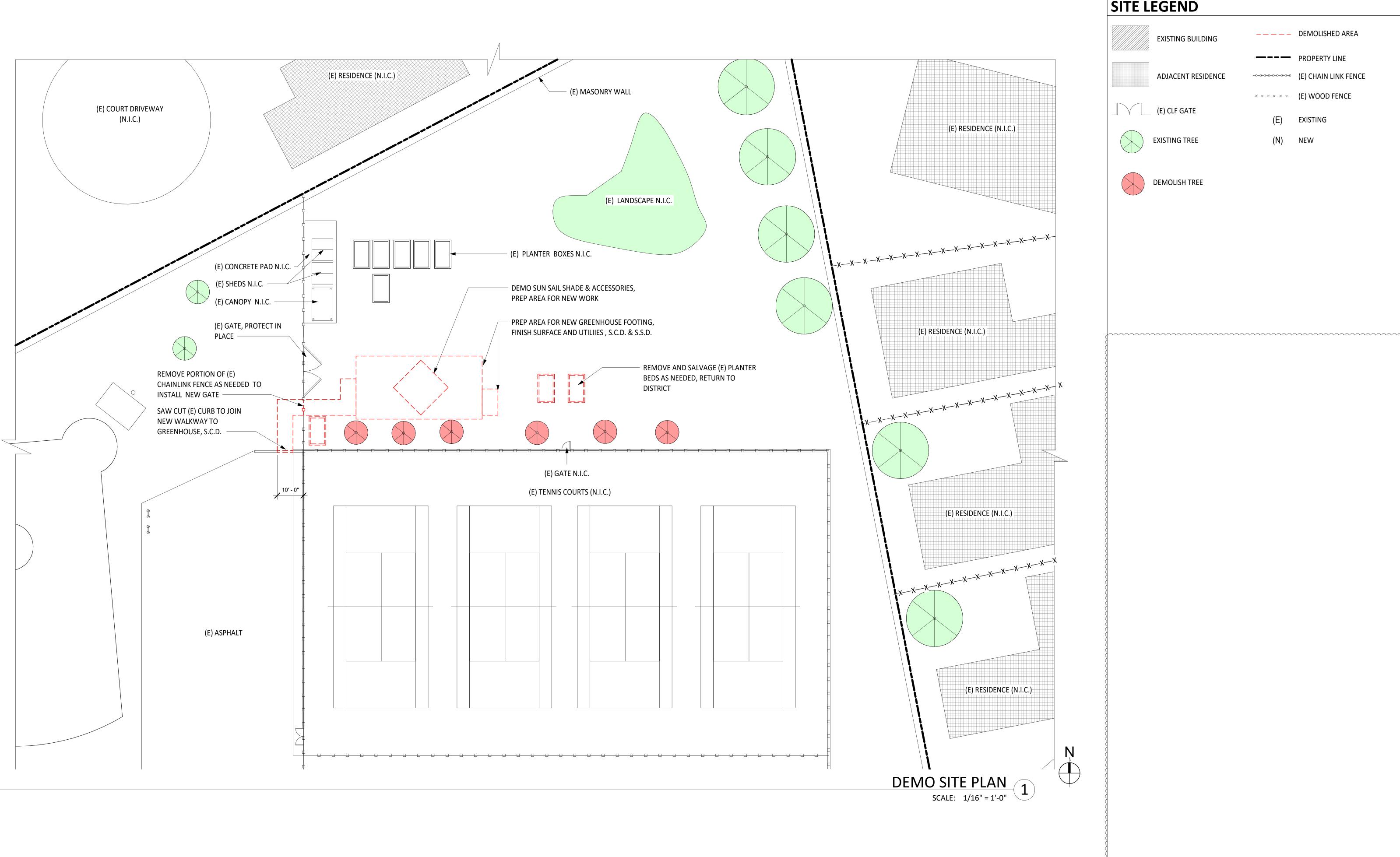
**EROSION DETAILS** 

SHEET NO.:

C-410

21075.01

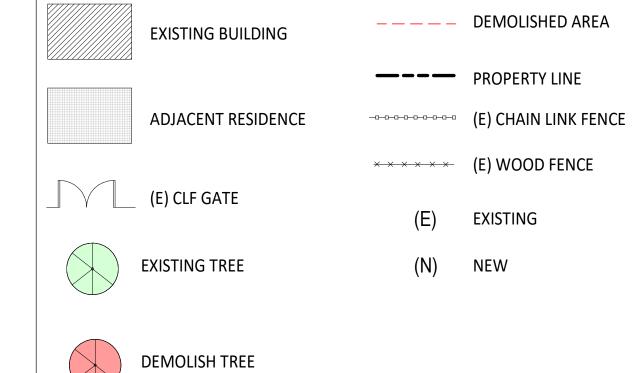
01/07/2022



#### **SHEET NOTES**

- 1. FIELD VERIFY ALL DIMENSIONS, PRIOR TO INSTALLATION OF NEW WORK.
- 2. PREPARE EXISTING SITE AREA AS NECESSARY TO INSTALL NEW WORK ON SITE 3. PROTECT ALL EXISTING SITE AND BUILDING ELEMENTS
- 4. FOR SITE UTILITIES & TRENCHING TO GREENHOUSE, SEE M.E.P. DRAWINGS FOR ADDITIONAL INFORMATION
- 5. FOR FOUNDATION AND SITE GRADING, S.C.D. FOR ADDITIONAL INFORMATION 6. RELOCATE & SALVAGE EACH BUILT AND NATURE ELEMENTS AS NEEDED TO
- ACCOMODATE GREENHOUSE, RETURN TO DISTRICT. 7. NO DEMOLITION SHALL BEGIN UNTIL PLANS INCLUDING THE DEMOLITION WORK HAVE BEEN APPROVED BY DSA.

#### SITE LEGEND



IDENTIFICATION STAMP DIV. OF THE STATE ARCHITECT APP: 03-122086 INC: REVIEWED FOR SS ☐ FLS ☐ ACS ☑ DATE: <u>07/11/2022</u>

DESIGN GROUP

LISTEN COLLABORATE CREATE

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ARCHITECT STAMP



CONSULTANT

CONSULTANT STAMP

PROJECT OWNER:

**EL MONTE UNION HIGH SCHOOL DISTRICT** 



3537 JOHNSON AVENUE, EL MONTE, CA 91731

PROJECT NAME:

ARROYO HIGH SCHOOL - NEW **GREENHOUSE** 



4921 CEDAR AVENUE EL MONTE, CA 91731

DESCRIPTION 100% CD SET DSA SUBMITTAL DSA V2 SUBMITTAL

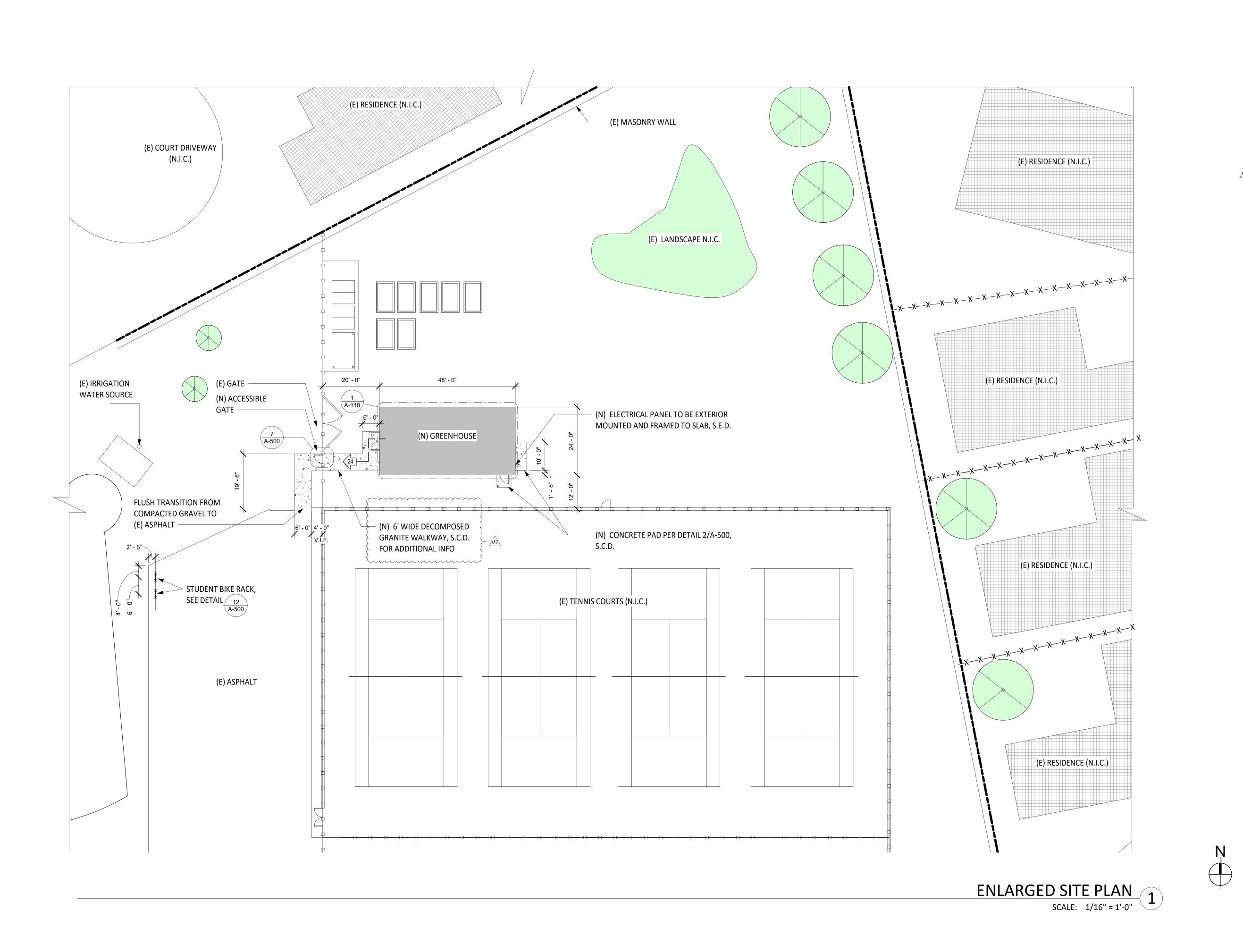
PROJECT NO.:

ENLARGED SITE PLAN -DEMO

21075.01

01/07/2022

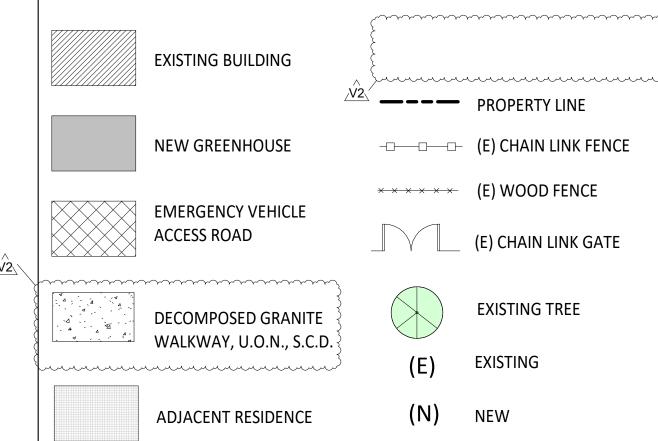
SHEET NO.:



#### **SHEET NOTES**

- 1. FIELD VERIFY ALL DIMENSIONS, PRIOR TO INSTALLATION OF NEW WORK.
- PREPARE EXISTING SITE AREA AS NECESSARY TO INSTALL NEW WORK ON SITE
   PROTECT ALL EXISTING SITE AND BUILDING ELEMENTS
- 4. FOR SITE UTILITIES & TRENCHING TO GREENHOUSE, SEE M.E.P. DRAWINGS FOR ADDITIONAL INFORMATION
- 5. FOR FOUNDATION AND SITE GRADING, S.C.D. FOR ADDITIONAL INFORMATION
  6. RELOCATE & SALVAGE EACH BUILT AND NATURE ELEMENTS AS NEEDED TO
- ACCOMODATE GREENHOUSE, RETURN TO DISTRICT .
  7. NO DEMOLITION SHALL BEGIN UNTIL PLANS INCLUDING THE DEMOLITION WORK HAVE BEEN APPROVED BY DSA.

#### SITE LEGEND



ELECTRICAL PANEL

#### REFERENCE IMAGES

ADJACENT RESIDENCE

1. AERIAL VIEW OF GARDEN AREAS



2. VIEW OF NEW GREENHOUSE LOCATION ADJACENT TO SHADE SCREEN



SDA DESIGN GROUP

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CONSULTANT

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PROJECT OWNER: **EL MONTE UNION HIGH SCHOOL DISTRICT** 



3537 JOHNSON AVENUE,

PROJECT NAME:

ARROYO HIGH SCHOOL - NEW GREENHOUSE



4921 CEDAR AVENUE

DATE DESCRIPTION
01/07/22 100% CD SET
03/03/22 DSA SUBMITTAL
DSA V2 SUBMITTAL

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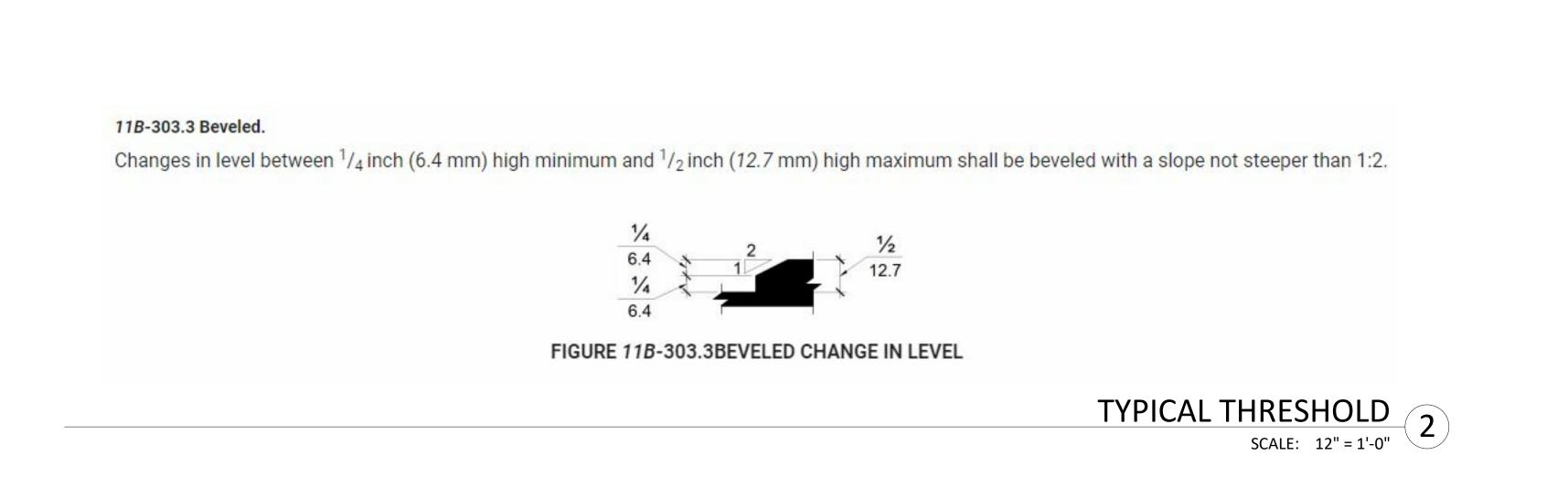
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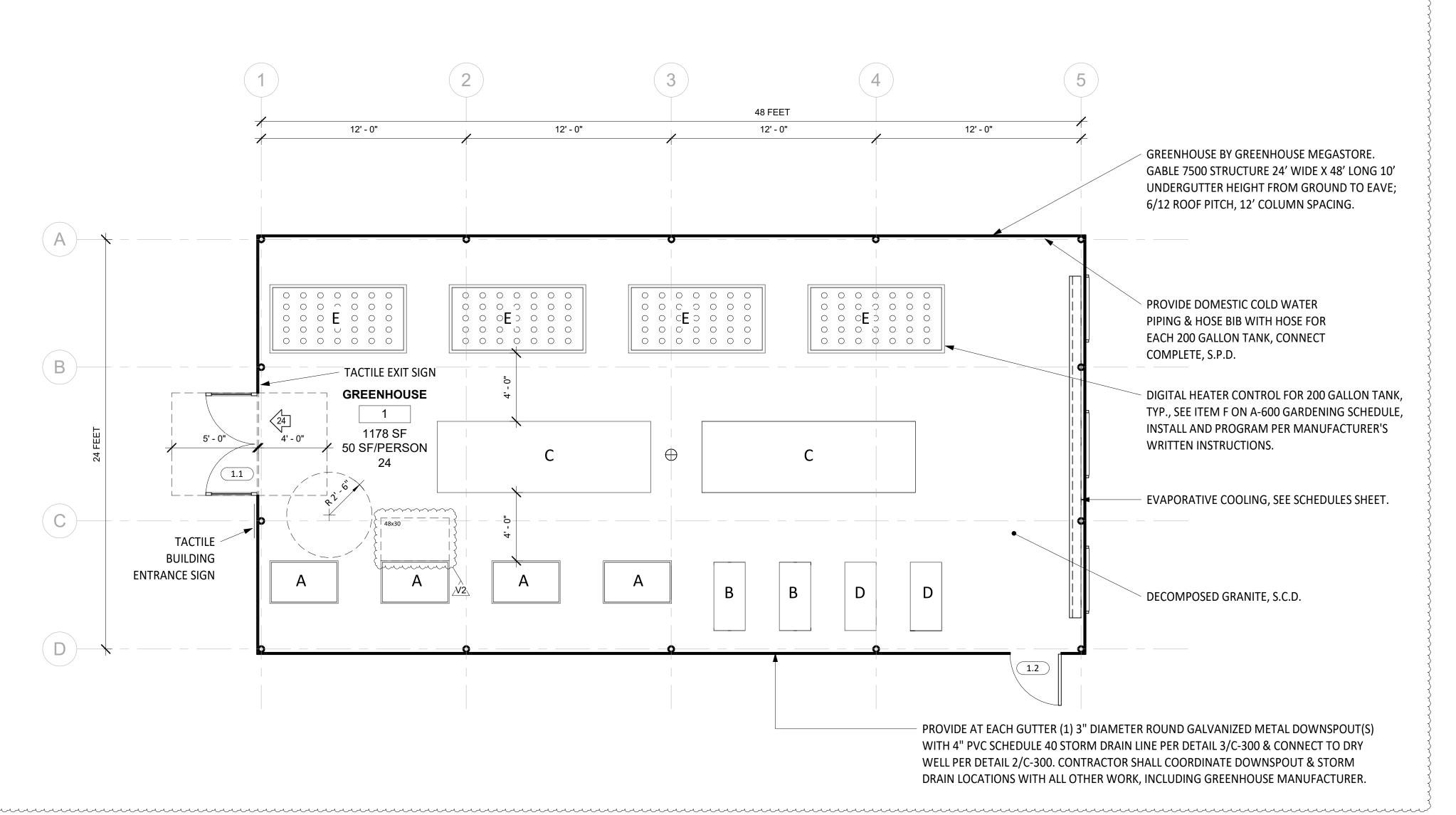
**ENLARGED SITE PLAN** 

01/07/2022

SHEET NO.:

A-101





GREENHOUSE FLOOR PLAN

SCALE: 1/4" = 1'-0"

N

#### **SHEET NOTES**

- 1. FIELD VERIFY ALL DIMENSIONS PRIOR TO WORK.
- 2. PROTECT ALL EXISTING SITE AND BUILDING ELEMENTS, U.O.N.
- 3. SEE ELECTRICAL & PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
   RELOCATE & SALVAGE EACH BUILT AND NATURE ELEMENTS AS NEEDED TO ACCOMODATE GREENHOUSE,
- RETURN TO DISTRICT.

  6. SEE SHEET A-600 FOR ADDITIONAL INFORMATION.
- 7. G.C. TO HIRE ADDITIONAL CONSULTANT AQUAPONIC SOURCE OR APPROVED EQUAL CONSULTANT TO HELP
- WITH AQUAPONIC EQUIPMENT SOURCING AND INSTALLATION.

  8. SEE CIVIL DRAWINGS FOR MORE INFORMATION.

# FLOOR PLAN LEGEND

DOOR TAG, SEE SCHEDULES SHEET

 $\bigoplus$ 

CATCH BASIN, SEE CIVIL DRAWINGS

DOOR, SEE SCHEDULES SHEET

■ POLYCARBONATE GREENHOUSE, SEE SCHEDULES SHEET

48X 30

OCCUPANT LOAD

ADA CLEARANCE

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT

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CSDA BESIGN

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ARCHITECT STAMP



CONSULTANT

CONSULTANT STAMP

PROJECT OWNER:

EL MONTE UNION HIGH SCHOOL DISTRICT



3537 JOHNSON AVENUE, EL MONTE, CA 91731

PROJECT NAME:

ARROYO HIGH SCHOOL - NEW GREENHOUSE



Arroyo High Scho
Once a Knight, Always a Knight

DESCRIPTION

4921 CEDAR AVENUE EL MONTE, CA 91731

01/07/22 100% CD SET
03/03/22 DSA SUBMITTAL
V2 DSA V2 SUBMITTAL

PROJECT NO.:

SHEET TITLE:

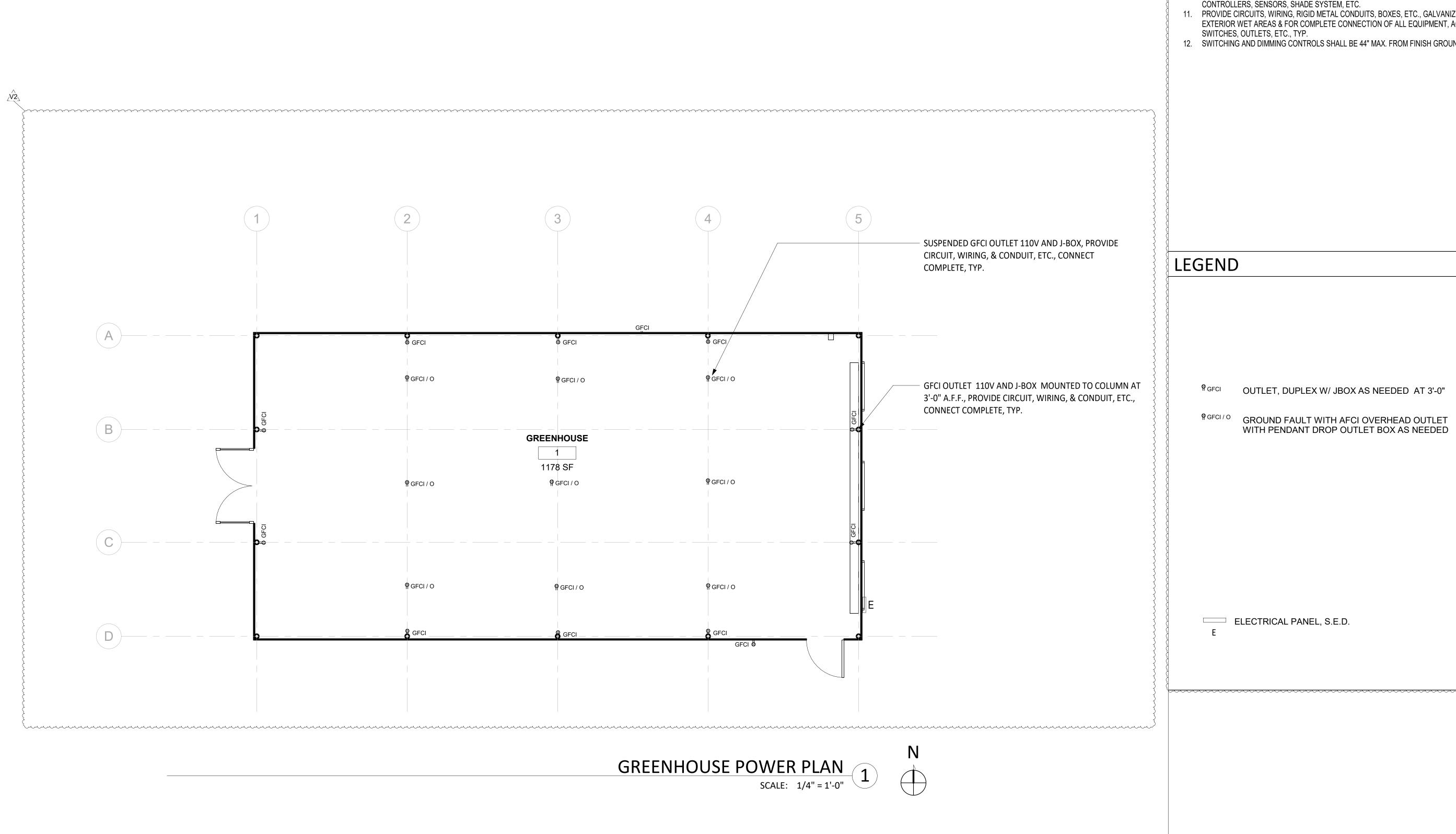
GREENHOUSE FLOOR PLAN

21075.01

01/07/2022

SHEET NO

A-110



SHEET NOTES

1. LAYOUT IS SCHEMATIC ONLY CONTRACTOR SHALL SIZE ALL NECESSARY EQUIPMENT. 2. CONTRACTOR SHALL VERIFY SIZE OF ELECTRICAL PANELS AND/OR SERVICE AND SHALL NOTIFY THE ARCHITECT IF ADDITIONAL ELECTRICAL EQUIPMENTS REQUIRED, V.I.F. PRIOR TO BID. 3. PROVIDE SMOKE & CARBON MONOXIDE DETECTORS WITH BATTERY BACK-UP, INCLUDING WIRING,

CONDUIT, & CONNECT COMPLETE. 4. ALL STANDARD ELECTRICAL OUTLETS TO BE 12" FROM THE FLOOR U.N.O.

5. LUMINARIES SHALL BE SWITCHED WITH READILY ACCESSIBLE DIMMING CONTROLS (44" MAX., TO TOP OF OUTLET BOX, ABOVE FINISH FLOOR) & VACANCY SENSORS THAT PERMIT THE LUMINARIES TO BE MANUALLY SWITCHED ON AND OFF.

6. LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS, U.O.N. NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR VACANCY SENSOR HAS BEEN INSTALLED TO COMPLY WITH CALIFORNIA ENERGY CODE SECTION

8. LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CALIFORNIA

ENERGY CODE SECTION 110.9. 9. SEE SHEET A-600 FOR ADDITIONAL INFORMATION.

10. PROVIDE ALL NECESSARY MECHANICAL, ELECTRICAL, & PLUMBING CONNECTIONS TO EQUIPMENT, ACCESSORIES, DEVICES, ETC., FOR COMPLETE INSTALLATION, PROGRAMMING, & FUNCTION, ETC., OF ALL EQUIPMENT, INCLUDING: LIGHTING, HEATING, COOLING, IRRIGATION, MOTORS, FANS, CONTROLLERS, SENSORS, SHADE SYSTEM, ETC.

11. PROVIDE CIRCUITS, WIRING, RIGID METAL CONDUITS, BOXES, ETC., GALVANIZED & SPECIFIED FOR EXTERIOR WET AREAS & FOR COMPLETE CONNECTION OF ALL EQUIPMENT, ACCESSORIES, DEVICES, SWITCHES, OUTLETS, ETC., TYP.

12. SWITCHING AND DIMMING CONTROLS SHALL BE 44" MAX. FROM FINISH GROUND, TYP.

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LISTEN COLLABORATE CREATE

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ARCHITECT STAMP



CONSULTANT

**CONSULTANT STAMP** 

PROJECT OWNER:

**EL MONTE UNION HIGH SCHOOL DISTRICT** 



3537 JOHNSON AVENUE, EL MONTE, CA 91731

PROJECT NAME:

ARROYO HIGH SCHOOL - NEW **GREENHOUSE** 



4921 CEDAR AVENUE

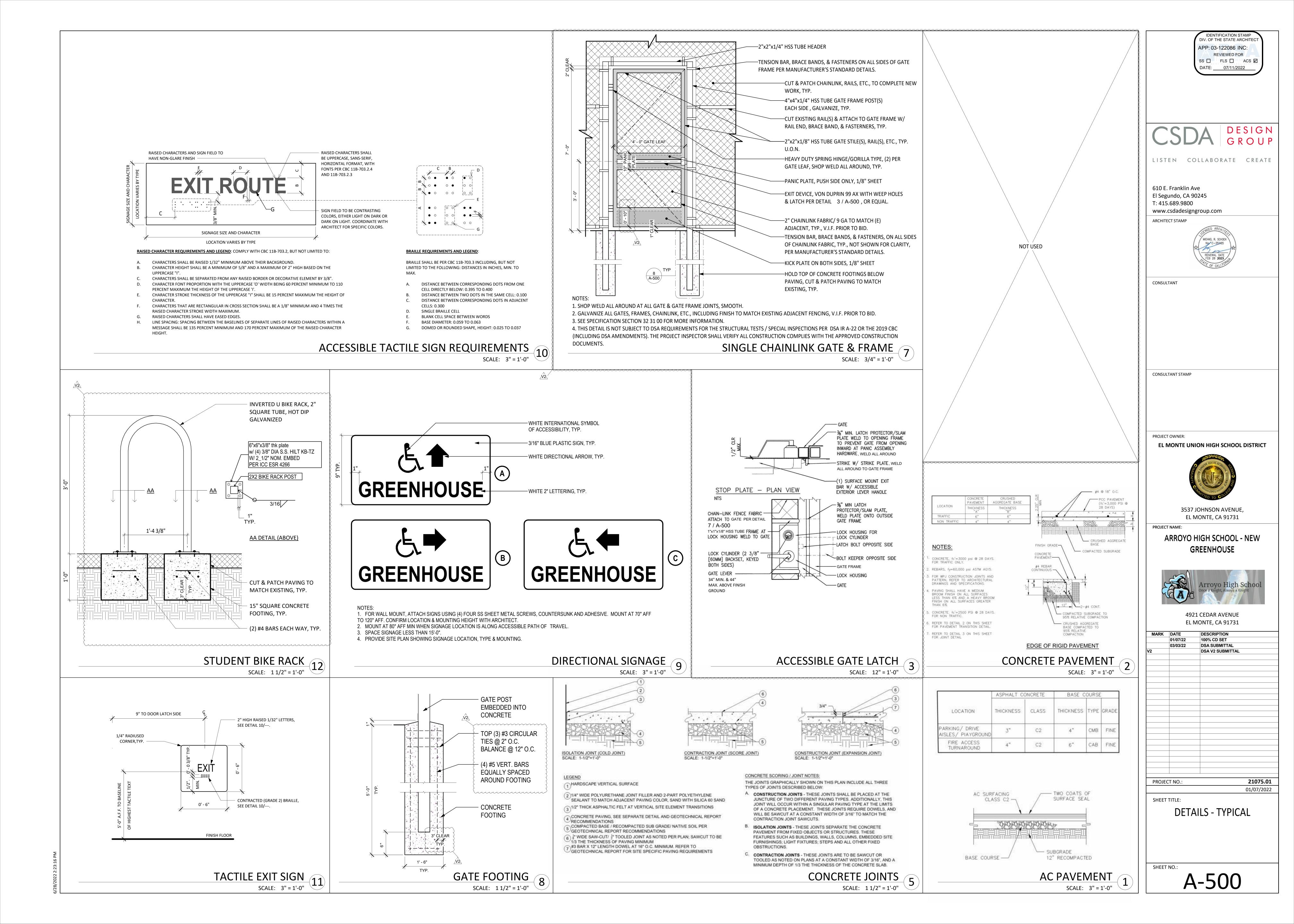
EL MONTE, CA 91731

DESCRIPTION 100% CD SET DSA SUBMITTAL DSA V2 SUBMITTAL

**GREENHOUSE POWER** 

21075.01 01/07/2022

SHEET NO.:

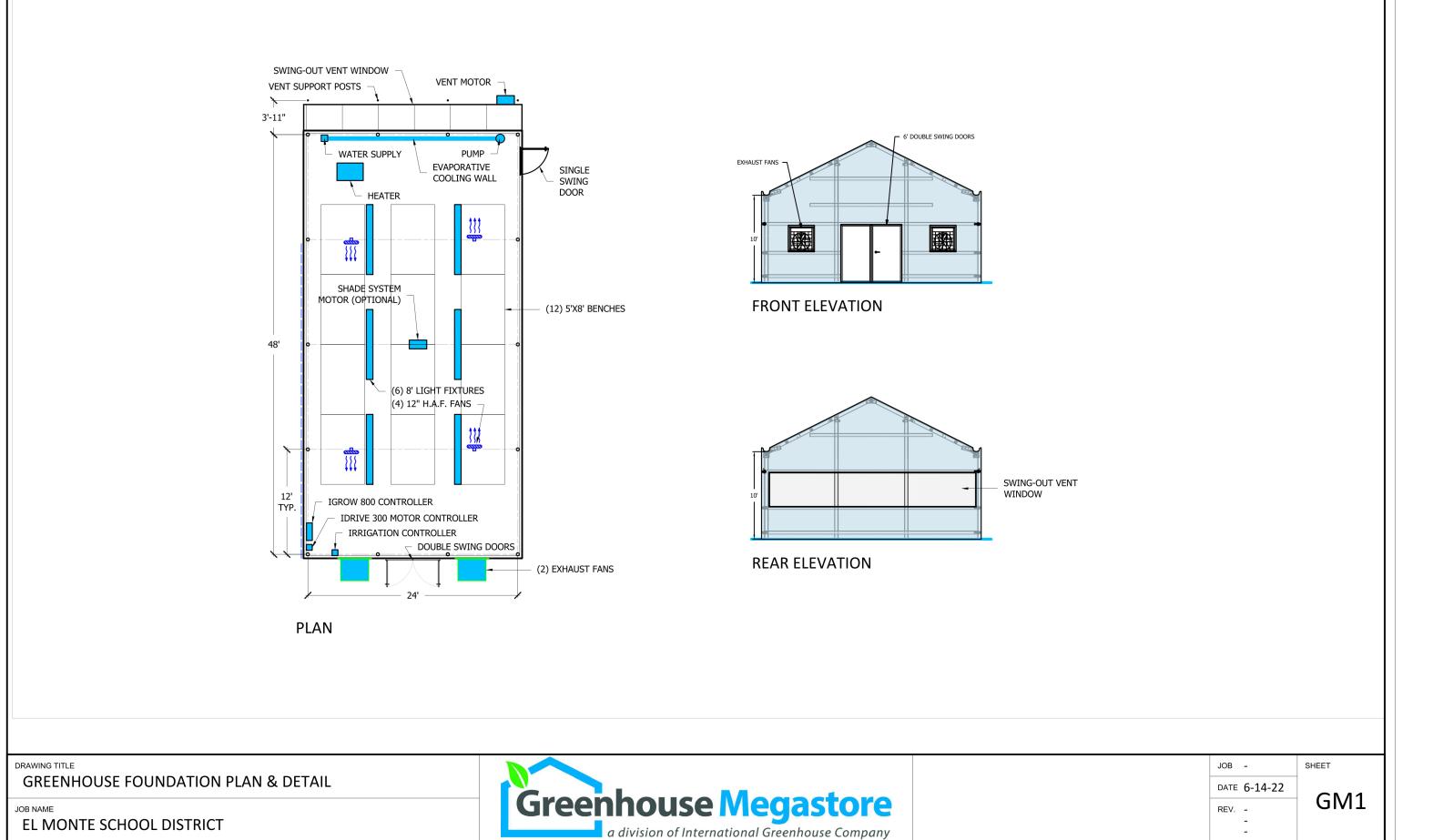


(									DOOR AND FRAM	IE SCHEDULE (VERIFY PRIOR TO BID)				
(					DOOR				FRAME					
(										DETAIL				
(	MARK	ROOM NAME	WIDTH	HEIGHT	MAT.	FIN.	MAT.	FIN.	HEAD	JAMB	THRESHOLD	FIRE RATING	HARDWARE GROUP	REMARKS
(														
(	1.1	GREENHOUSE	6' - 0"	6' - 8"	PER MANUFACTURER	2/A-110	NONE	PER MANUFACTURER	GREENHOUSE STRUCTURE MFR DOOR & HARDWARE W/ ACCESSIBLE LEVER LOCKSET &THRESHOLD					
(	1.2	GREENHOUSE	3' - 0"	6' - 8"	PER MANUFACTURER	2/A-110	NONE	PER MANUFACTURER	GREENHOUSE STRUCTURE MFR DOOR & HARDWARE W/ ACCESSIBLE LEVER LOCKSET &THRESHOLD					

#### GARDENING EQUIPMENT TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR:

	GARDENING EQUIPMENT (I.E. GROWING SYSTEMS)									
MARK	NAME	MANUFACTURER, UN APPROVED FO PRIOR TO BID	QUANTITY	MODEL NO., OR APPROVED EQUAL PRIOR TO BID	COMMENTS					
Α	MESA MINICAMP GRANDE (HYDROPONICS TABLE)	GREENHOUSE MEGASTORE, ETC.	Л	HP-NG-MM	FURNISH_INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.					
В	MINICAMP VERTICAL JARDANIA RACK	GREENHOUSE MEGASTORE, ETC.	2	LIP NO-IVIJ	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.					
С	MICROGREEN RACK	GREENHOUSE MEGASTORE, ETC.	2	HP-CKMG	FURNISH, INSTALL CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.					
D	AQUILLA RED CEDAR POTTING BENCH	GREENHOUSE MEGASTORE, ETC.	2	BN-2000	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, FROGRAM, ETC., W/ MANUF.					
Е	AQUAPONICS SYSTEM WITH 200 GALLON TANK	GREENHOUSE MEGASTORE, ETC.	4	HP-CKAP	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.					
F	TRUE TEMP - DIGITAL HEATER CONTROL	AQUAPONIC USA, ETC.	4	T3-300	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.					

GREENHOUSE BUILDING EQUIPMENT (**PROVIDE ADDITIONAL EQUIPMENT NOT LISTED, SEE SHEET NOTES & GREENHOUSE MEGASTORE)									
PRODUCT DESCRIPTION	QUANTITY	MODEL NO.	MEASUREMENT	AMPERAGE	VOLTAGE	WEIGHT	CFM	MANUFACTURER	
J&D TYPHOON EXHAUST FAN	2	VNS30S850	30"	6.2/3.1	115/230	250+/-	NA	MEGASTORE, CONLEY'S, APROVED EQ. MANUFACTURER (MAY COME WITH GREENHOUSE)	
ALUMINUM SHUTTER	4	VRSG48A	48.5"X48.5	NA	NA	NA	9,000	MEGASTORE, CONLEY'S, APROVED EQ. MANUFACTURER (MAY COME WITH GREENHOUSE)	
HORIZONTAL AIR FANS	4	VK12	12"	1.3/0.65	115/230	18	1,470	MEGASTORE, CONLEY'S, APROVED EQ. MANUFACTURER (MAY COME WITH GREENHOUSE)	
IGROW 800 ENVIRONMENTAL CONTROLLER	1	CT-4108	4"X6"	NA	NA	5+/-	NA	MEGASTORE, CONLEY'S, APROVED EQ. MANUFACTURER (COORDINATE WITH MAN. )	
STAINLESS STEEL EVAPORATIVE SYSTEM FOR 6" PADS	1	EV-SS6	20'-0" X 4'-0"	NA	NA	NA	NA	MEGASTORE, CONLEY'S, APROVED EQ. MANUFACTURER (COORDINATE WITH MAN. )	



#### **SHEET NOTES**

- 1. SEE SHEET G-001 FOR SHEET INDEX, ETC.
- 2. SEE GREENHOUSE FLOOR PLAN SHEET.
- 3. SEE GREENHOUSE POWER PLAN SHEET.
- 4. SEE SKETCH GM1 BY GREENHOUSE MEGASTORE.
- 5. PROVIDE GREENHOUSE, INCLUDING ALL EQUIPMENT, COMPONENTS, ACCESSORIES, DEVICES, ETC., BY GREENHOUSE MEGASTORE (U.O.N.) & THEIR ASSOCIATED MANUFACTURERS, OR SUBMIT AN EQUAL PRODUCT FOR REVIEW PRIOR TO BID, TYP. 6. CONTRACTOR SHALL COORDINATE WITH THE GREENHOUSE MANUFACTURER ON ALL
- EQUIPMENT, ACCESSORIES, DEVICES, ETC., THAT REQUIRE MECHANICAL, ELECTRICAL, AND PLUMBING CONNECTIONS FOR COMPLETE INSTALLATION. ALL LABOR, MATERIAL, ETC., ASSOCIATED WITH THIS WORK IS PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- OMIT (12) BENCHES. PROVIDE THE FOLLOWING (TO BE SELECTED BY ARCHITECT) FROM THE GREENHOUSE MEGASTORE'S FULL CATALOG (AVAILABLE ONLINE) & THEIR ASSOCIATED MANUFACTURERS, INCLUDING ALL LABOR, MATERIAL, ETC., FOR COMPLETE INSTALLATION (OR SUBMIT AN EQUAL PRODUCT FOR REVIEW PRIOR TO BID), TYP.:
- A. LED LIGHTING
- B. SHADE SYSTEM
- C. HEATING
- D. EVAPORATIVE COOLING SYSTEM E. CONTROLLERS
- F. FANS
- G. MOTORS
- H. IRRIGATION
- I. OPENINGS J. ETC.
- 9. ALL DOOR HARDWARE SHALL MEET REQUIREMENTS OF THE CALIFORNIA BUILDING CODE CHAPTER 11B. SEE GUIDE SPECIFICATION SECTION 08.71.00, FOR REFERENCE
- 10. PROVIDE TYP. THRESHOLD AT EACH DOOR, SEE GREENHOUSE FLOOR PLAN SHEET.
- 11. PROVIDE CIRCUITS, WIRING, RIGID METAL CONDUITS, BOXES, ETC., GALVANIZED & SPECIFIED FOR EXTERIOR WET AREAS & FOR COMPLETE CONNECTION OF ALL EQUIPMENT, ACCESSORIES, DEVICES, SWITCHES, OUTLETS, ETC., TYP.

IDENTIFICATION STAMP DIV. OF THE STATE ARCHITEC APP: 03-122086 INC: REVIEWED FOR SS ☐ FLS ☐ ACS ☑ DATE: 07/11/2022

DESIGN

LISTEN COLLABORATE CREATE

610 E. Franklin Ave El Segundo, CA 90245 T: 415.689.9800

www.csdadesigngroup.com

ARCHITECT STAMP



CONSULTANT

CONSULTANT STAMP

PROJECT OWNER:

PROJECT NAME:

**EL MONTE UNION HIGH SCHOOL DISTRICT** 

3537 JOHNSON AVENUE,

EL MONTE, CA 91731

ARROYO HIGH SCHOOL - NEW

**GREENHOUSE** 

**4921 CEDAR AVENUE** 

EL MONTE, CA 91731

DESCRIPTION

100% CD SET

DSA SUBMITTAL

DSA V2 SUBMITTAL

Arroyo High Scho

#### **GREENHOUSE MEGASTORE**

- 1. PROJECT DETAILS
- A. SENIOR TEACHING PACKAGE GABLE SERIES GREENHOUSE
- B. 1,152 SQUARE FEET GROWING SPACE
- 2. BUILDING DESCRIPTION
- A. GREENHOUSE STAND ALONE
- B. GABLE 7500 STRUCTURE 24' WIDE X 48' LONG 10' UNDERGUTTER HEIGHT
- FROM GROUND TO EAVE; 6/12 ROOF PITCH, 12' COLUMN SPACING. C. POST-IN-PIER COLUMN INSTALLATION
- D. SIDEWALLS AND GABLE END FRAMING AND GABLE FLASHING.
- E. ALUMINUM EXTRUSIONS AND FASTENERS FOR 8MM TWINWALL
- POLYCARBONATE FOR GABLE ENDS AND SIDE WALLS.
- F. ALUMINUM EXTRUSIONS AND FASTENERS FOR 8MM TWIN WALL POLYCARBONATE ROOF
- G. (1) CONTINUOUS END WALL VENT BEHIND EVAPORATIVE COOLING WALL
- H. FRAMING FOR TWO (2) EXHAUST FANS, ONE (1) SINGLE SWING DOORS, ONE (1) DOUBLE SWING DOOR. I. HEATER HANGER KIT
- GUTTER END CAP AND TWO (2) GUTTER END CAPS W/ DOWNSPOUT
- TRANSITIONS.
- 3. DESIGN LOADS/ENGINERING A. GREENHOUSE STRUCTURE LOAD RATINGS REQUIRED FOR ENGINEERING.
- ENGINEERED CALCULATIONS AND DRAWING WITH CA STATE ENGINEERS STAMP. 4. COVERING
- A. SUFFICIENT 8MM CLEAR TWIN WALL POLYCARBONATE STRUCTURED SHEETS
- TO COVER GABLE END WALLS, SIDE WALLS, AND ROOF OF GREENHOUSE AREA 5. HEATING
  - A. (1) MODINE HER 200 ELECTRIC HEATER, POWER OPTIONS BELOW.
  - a. 208V 3 PHASE / 56.8 AMPS b. 240V 3 PHASE / 49.4 AMPS
  - c. 480V 3 PHASE / 25.3 AMPS
- 6. AIR CIRCULATION
- A. (4) HORIZONTAL AIR FLOW (HAF) FANS 12"
- 7. COOLING A. (2) 30" EXHAUST FANS WITH SLOP WALL HOUSING
- B. (1) 36" TALL X 6" THICK X 24' WIDE EVAPORATIVE COOLING WALL COMPLETE WITH PUMP AND RESERVOIR
- C. (1) CONTINUOUS END WALL VENT WITH EXTERNAL RACK & PINION AND
- MOTOR
- 8. DOORS
- A. (1) PLYCO 3' WIDE SINGLE SWING DOOR WITH ADA SILL & LOCKSET B. (1) PLYCO 6' WIDE DOUBLE STEEL DOOR WITH ADA SILL & LOCKSET
- 9. CONTROLS
- A. (1) LINK4 FULLY PROGRAMMABLE CONTROLLER WITH INTEGRATED CONTACTOR CABINET, TEMP/HUMIDITY SENSORS AND DRAWINGS. ACCESSED FROM THE CLOUD.
- 10. INTERIOR AUTO SHADE SYSTEM
- A. SLOPE/FLAT/SLOPE INTERIOR AUTOMATED SHADE SYSTEM WITH MOTOR. CONTROLLED BY GREENHOUSE CONTROLLER
- 11. LIGHTING
- A. (6) 8' LONG 6 BULB LED LIGHTS FOR GENERAL LIGHTING
- 12. IRRIGATION
- A. FILTER, WATER PRESSURE REGULATOR, SOLENOIDS, MULTI STAGE CONTROLLER, TUBING, FITTINGS FOR OVERHEAD MISTING DELIVERY.
- INCLUDES LINK4 IRRIGATION CONTROLLER WITH 8 CHANNELS. ACCESSED FROM THE CLOUD. 13. SEE SKETCH GM1 FOR MORE INFORMATION.

SHEET TITLE:

PROJECT NO.:

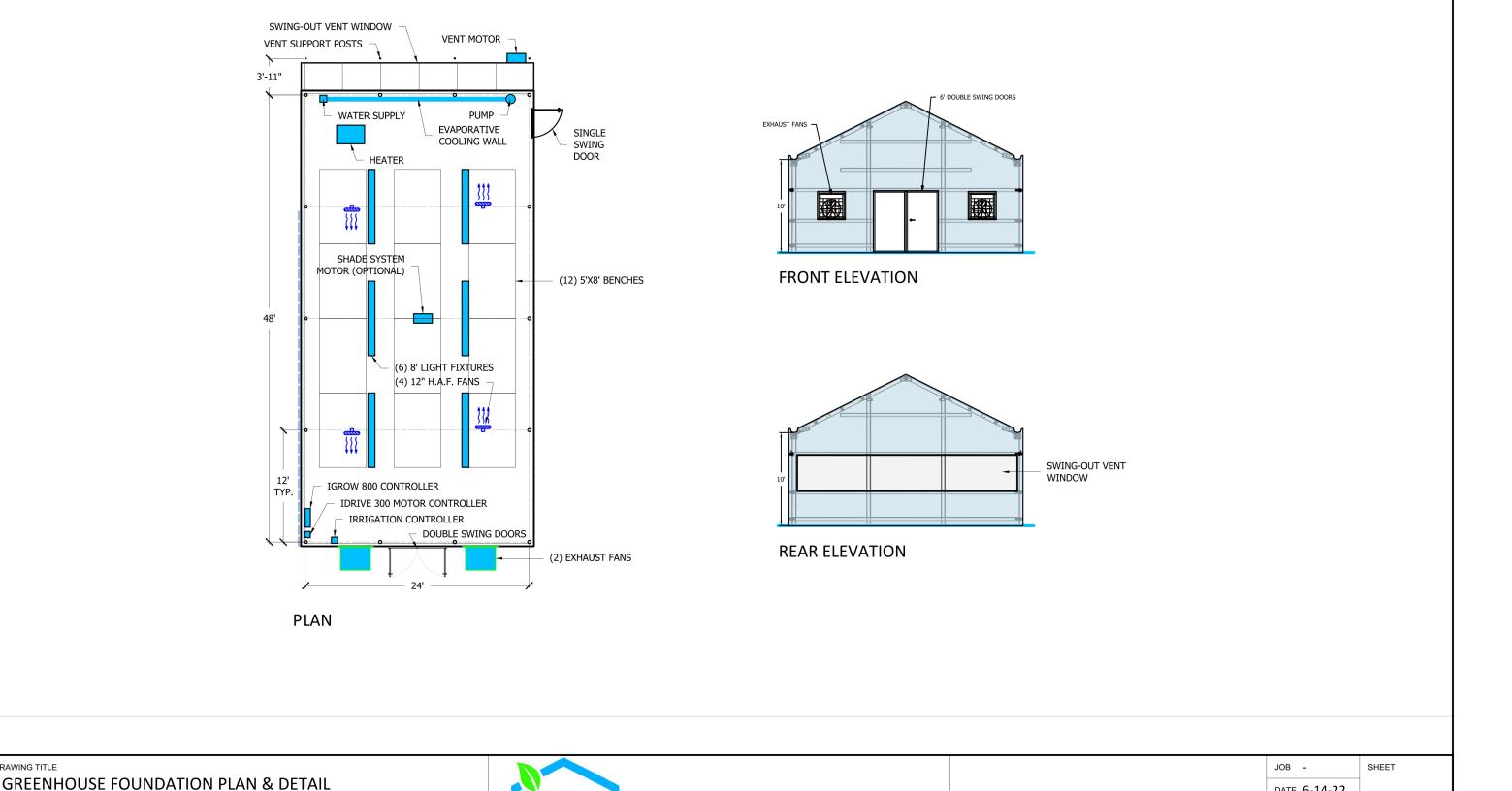
SCHEDULES

21075.01

01/07/2022

SHEET NO.:

A-600



#### GENERAL NOTES:

- 1. DETAILS OF CONSTRUCTION NOT SHOWN SHALL BE OF SAME NATURE AS THOSE SHOWN FOR SIMILAR CONDITIONS. REFER TO THE TYPICAL DETAIL SHEETS FOR TYPICAL DETAILS OF CONSTRUCTION. TYPICAL DETAILS APPLY TO ALL CONSTRUCTION UNLESS SPECIFICALLY NOTED OR SHOWN OTHERWISE. WHERE CONDITIONS REQUIRE MODIFICATIONS OF A TYPICAL DETAIL, THE CONTRACTOR SHALL SUBMIT MODIFIED DETAIL FOR APPROVAL BY THE ENGINEER OF RECORD PRIOR TO FABRICATION AND INSTALLATION. DETAILS OF CONSTRUCTION NOT SHOWN SHALL BE OF SAME NATURE AS THOSE SHOWN FOR SIMILAR CONSTRUCTION.
- 2. CONTRACTOR SHALL CONSIDER THE PROJECT SPECIFICATIONS A PART OF THE CONTRACT DOCUMENTS. WHERE INFORMATION IS CONFLICTING, SPECIFIC DETAILS SHALL GOVERN OVER TYPICAL DETAILS WHICH SHALL GOVERN OVER THESE NOTES WHICH SHALL GOVERN OVER SPECIFICATIONS.
- 3. ALL DIMENSIONS ON STRUCTURAL DRAWINGS SHALL BE CHECKED AGAINST ARCHITECTURAL DIMENSIONS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE OMITTED OR NOT CLEAR, CONTACT THE ARCHITECT (ARCH) OR STRUCTURAL ENGINEER OF RECORD (SEOR). ALL DIMENSIONS RELATED TO EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR. DIMENSIONS ARE TO THE FACE OF STUDS, AND TO CENTERLINE OF COLUMNS UNO.
- 4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE SEOR OF ANY CONFLICTS BETWEEN THE STRUCTURAL DRAWINGS AND OTHER DRAWINGS; OR EXISTING CONDITIONS NOT SHOWN OR DIFFERENT FROM THOSE SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE BUILDING THAT IS IN CONFLICT UNTIL THE CONFLICT IS RESOLVED WITH THE AFFECTED PARTIES.
- 5. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN THEY DO NOT INDICATE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE CONSTRUCTION AND ALL ADJACENT PROPERTIES DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR SEOR SHALL NOT INCLUDE OBSERVATION OF THE ABOVE ITEMS.
- 6. SUBSTITUTION REQUESTS FOR MATERIALS SPECIFIED ON THE STRUCTURAL DRAWINGS MAY BE CONSIDERED WITH MATERIALS HAVING EQUIVALENT OR GREATER CAPACITY AND PERFORMANCE. CURRENT EVALUATION REPORTS AND PRODUCT INFORMATION SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER DEMONSTRATING THE REQUIRED CAPACITY AND PERFORMANCE OF THE MATERIAL TO BE SUBSTITUTED. WRITTEN APPROVAL FROM THE SEOR SHALL BE OBTAINED PRIOR TO THE SUBSTITUTION OF ANY MATERIAL SPECIFIED ON THE STRUCTURAL DOCUMENTS.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA, LATEST EDITION, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. THE ARCHITECT, SEOR, AND THE OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.
- 8. ALL WORK IS NEW (N) UNLESS INDICATED AS EXISTING (E).
- 9. CONSTRUCTION MATERIALS SHALL BE DISTRIBUTED WHEN PLACED ON THE STRUCTURE SUCH THAT LOADS DO NOT EXCEED DESIGN LIVE LOADS OR RESULT IN AN UNBALANCED CONDITION.
- 10. REFER TO THE PROJECT SPECIFICATIONS FOR SHOP DRAWING REQUIREMENTS AND SUBMITTALS.

#### STRUCTURAL DESIGN CRITERIA:

CODES:
ALL WORK SHALL BE IN CONFORMANCE WITH THE CALIFORNIA
BUILDING CODE (CBC) 2019 EDITION, INCLUDING ALL AMENDMENTS.
ALL STANDARDS USED SHALL BE THE LATEST VERSION APPROVED
BY THE CODE ENFORCEMENT AGENCY ON THE DATE OF THE PERMIT

#### WIND DESIGN INFORMATION

ISSUANCE UNLESS SPECIFICALLY NOTED OTHERWISE.

SEISMIC DESIGN INFORMATION

SEISMIC DESIGN CATEGORY = D

INTERNAL PRESSURE COEFF. = +/- 0.18

 I = 1.25
 RISK CATEGORY = III
 SITE CLASS = D (DEFAULT)

  $S_S = 1.82$  S1 = 0.652 SDS = 1.456 SD1 = 0.739 

#### FOUNDATION NOTES (NO SOILS REPORT):

- 1. NO SOILS REPORT AVAILABLE; THEREFORE, MINIMUM VALUES USED PER 2019
- 2. ALLOWABLE VERTICAL BEARING PRESSURE = 1500 PSF ALLOWABLE LATERAL BEARING PRESSURE = 100 PSF PER FT OF DEPTH
- 3. THE CONTRACTOR SHALL CONFORM TO ALL RECOMMENDATIONS AND CONDITIONS INDICATED IN THE 2019 CBC. A GEOTECHNICAL ENGINEER SHALL OBSERVE ALL FOOTING EXCAVATIONS PRIOR TO PLACING CONCRETE.
- 4. SUBSURFACE SOIL PREPARATION:

ENGINEER PRIOR TO PLACEMENT.

SHALL BE VERIFIED BY SPECIAL INSPECTION.

- A. ALL EXISTING UNDOCUMENTED FILL AND TOPSOILS SHALL BE REMOVED AND RECOMPACTED. BACKFILL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLE AND BOLDERS.
- B. ALL EXPANSIVE SOIL SHALL BE REMOVED PER CBC 1808A.6.3
  C. GEOTECHNICAL ENGINEER SHALL BE RETAINED DURING THE
  OVEREXCAVATION PROCESS. THE ACTUAL DEPTH OF REMOVAL WILL BE
  DETERMINED DURING GRADING OPERATIONS TO CONFIRM COMPETENT NATIVE
  SOIL MATERIALS ARE ENCOUNTERED.
- 5. COMPACTED ENGINEERED FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS OF 6 TO 8 INCHES AND SHALL HAVE AN IN-PLACE DRY DENSITY IS NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE

CONTENT DETERMINED IN ACCORDANCE WITH ASTM D1557. THE COMPACTION

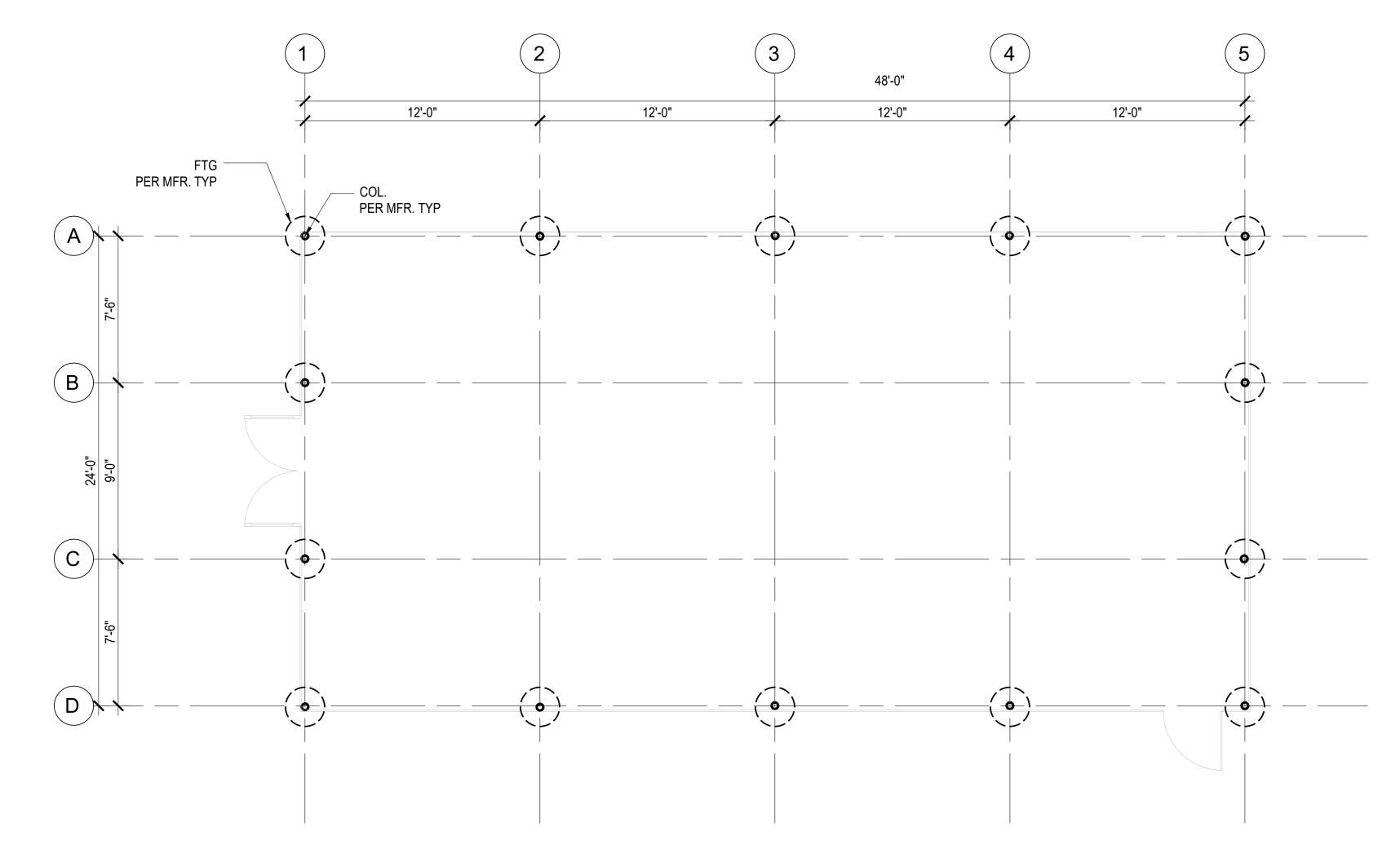
D. OFFSITE FILL MATERIAL SHALL BE APPROVED BY A GEOTECHNICAL

- 6. CONTRACTOR SHALL PROTECT ALL UTILITY LINES, ETC. ENCOUNTERED DURING EXCAVATION AND BACKFILLING.
- 7. ALL TRENCHES SHALL COMPLY WITH APPLICABLE OSHA REQUIREMENTS.
- 8. PRIOR TO REINFORCEMET FOR FOUNDATIONS BEING PLACED, THE SOILS ENGINEER SHALL PREPARE AND SUBMIT A VERIFIED REPORT AS REQUIRED BY THE CALIFORNIA ADMINISTRATIVE CODE. THE REPORT SHALL INDICATE THAT ALL TESTS AND INSPECTION REQUIRED BY THE APPROVED CONSTRUCTION DOCUMENTS WERE COMPLETED AND THAT THE TESTED MATERIALS AND/OR INSPECTED WORK MEET THE REQUIREMENTS OF THE APPROVED CONSTRUCTION DOCUMENTS.
- THE REPORT SHALL ALSO STATE THAT:

  A. THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS
  REPORT
- B. THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND
- COMPACTED.
  C. THE FOUNDATION EXCAVATIONS COMPLY WITH THE INTENT OF THE SOILS REPORT.

#### STATEMENT OF SPECIAL INSPECTIONS (DSA):

- 1. THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.
- 2. SPECIAL INSPECTIONS ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVED FABRICATORS MUST SUBMIT A CERTIFICATE OF COMPLIANCE FOR OFFSITE FABRICATIONS SUCH AS STRUCTURAL STEEL, PRECAST CONCRETE, GLUED LAMINATED TIMBER, ETC.
- 3. ALL INSPECTIONS SHALL BE PERFORMED BY INDEPENDENT SPECIAL INSPECTORS. JOB SITE VISITS BY THE STRUCTURAL ENGINEER OR BUILDING OFFICIAL DO NOT CONSTITUTE AND ARE NOT A SUBSTITUTE FOR INSPECTIONS BY A SPECIAL INSPECTOR.
- 4. ALL INSPECTION REPORTS SHALL BE SUBMITTED TO DSA AND SEOR THE FINAL REPORTS BY THE SPECIAL INSPECTOR(S) MUST CERTIFY THAT THE ENTIRE STRUCTURAL SYSTEM COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS.
- 5. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT THESE INSPECTIONS ARE PERFORMED.
- 6. WORK REQUIRING SPECIAL INSPECTION SHALL BE INSPECTED BY THE SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS PERFORMED AND AT THE COMPLETION OF WORK. CONTINUOUS INSPECTION CONSISTS OF FULL-TIME INSPECTION; PERIODIC INSPECTION CONSISTS OF PART-TIME OR INTERMITTENT INSPECTION.
- 7. PERFORM ALL TESTING AND INSPECTION PER CALIFORNIA BUILDING CODE CHAPTER 17A.



SCOPE OF WORK:

THE FOUNDATION PLAN PROVIDED HEREIN IS FOR ILLUSTRATION PURPOSE ONLY.

THE GREENHOUSE STRUCTURE AND FOUNDATIONS ARE CONSIDERED A NON-CLASSROOM BUILDING PER DSA IR A-22 AND IS EXEMPT FROM DSA REVIEW.

THE GREENHOUSE MANUFACTURED SHALL PROVIDE FULLY DETAILED AND CALCULATED DRAWINGS USING THE DESIGN CRITERIA UNDER STRUCTURAL DESIGN & FOUNDATION NOTES.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



IDENTIFICATION STAMP DIV. OF THE STATE ARCHITECT

APP: 03-122086 INC:

REVIEWED FOR

SS FLS ACS D

DATE: 07/11/2022

CSDA DESIGN

LISTEN COLLABORATE CREATE

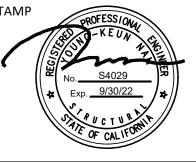
610 E. Franklin Ave
El Segundo, CA 90245
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www.csdadesigngroup.com

ARCHITECT STAMP

CONSULTANT:



CONSULTANT STAMP



PROJECT OWNER:

**EL MONTE UNION HIGH SCHOOL DISTRICT** 



3537 JOHNSON AVENUE EL MONTE, CA, 91731

PROJECT NAME:

ARROYO HIGH SCHOOL



4921 CEDAR AVENUE

EL MONTE, CA, 91731

 MARK
 DATE
 DESCRIPTION

 01-07-2022
 100% CD SET

 03-03-2022
 DSA SUBMITTAL

SHEET TITLE:

PROJECT NO.:

GREENHOUSE FOUNDATION PLAN

21075.01

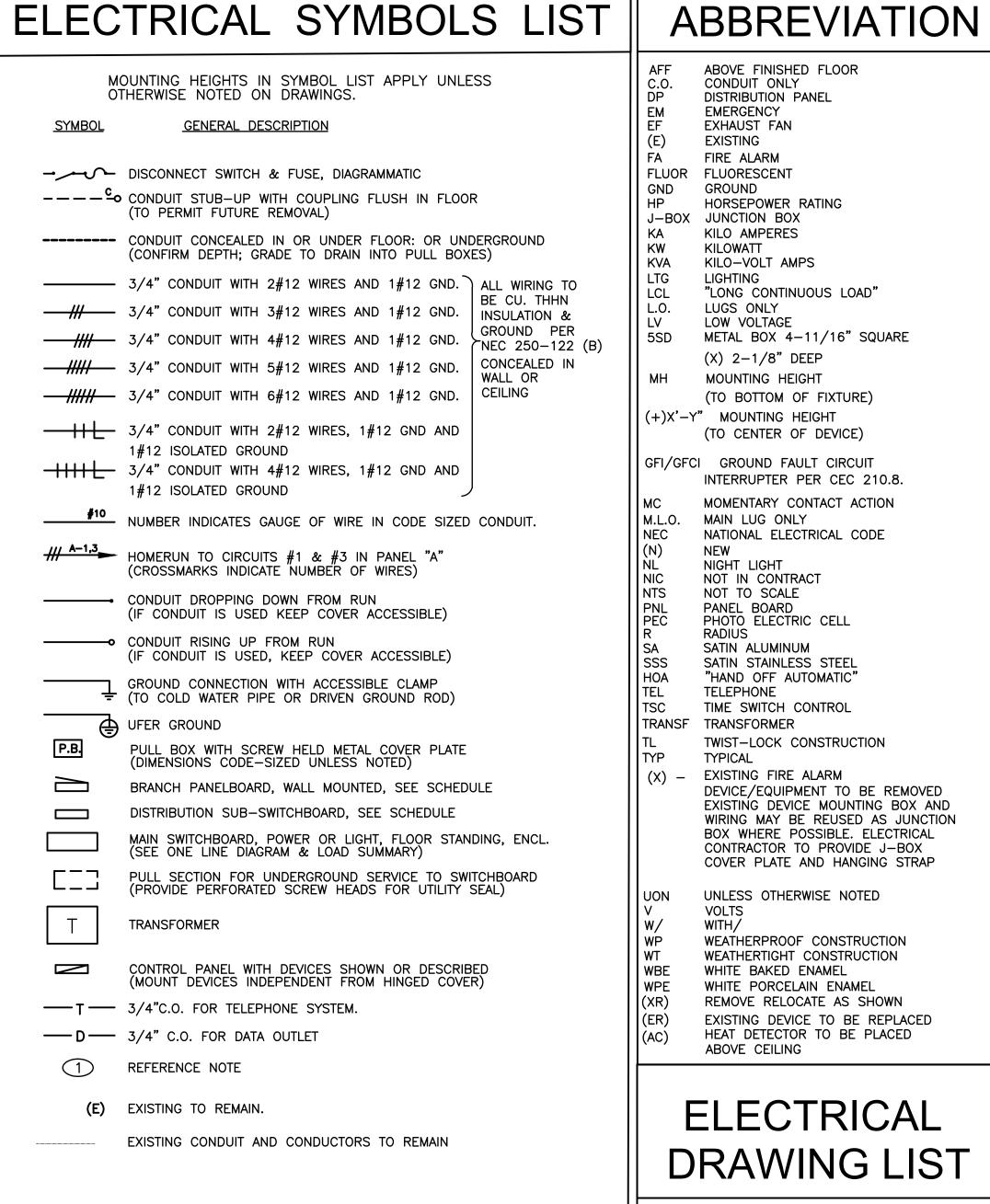
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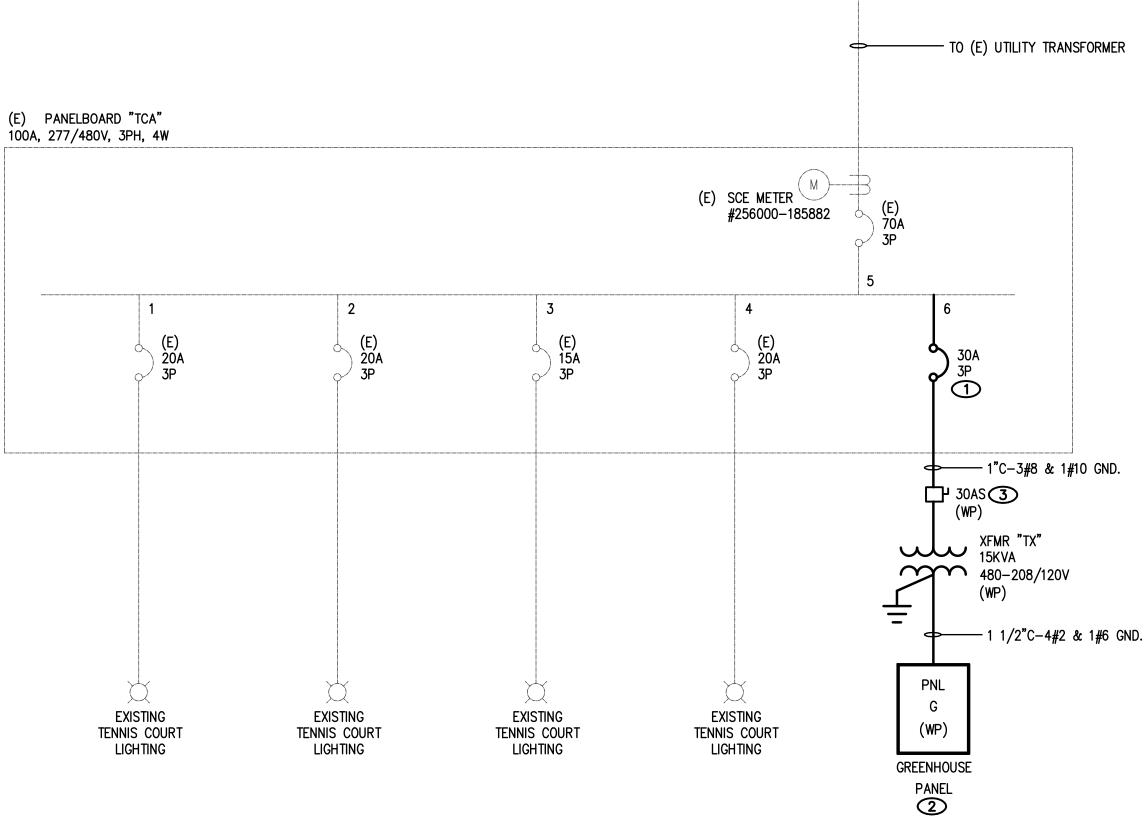
SHEET NO.:

S-001

**AND NOTES** 







# **GENERAL NOTES**

PANELS IN THE FIELD.

1. CONTRACTOR TO VERIFY LOCATION OF EXISTING

#### KEYED NOTES®

1. PROVIDE CIRCUIT BREAKER TO MATCH EXISTING MANUFACTURER AND AIC RATINGS.

2. PROVIDE NEW PANEL "G" WITH GROUND BUS, CONNECT EQUIPMENT GROUNDING CONDUCTOR TO GROUND BUS AND BONDING BUSHING.

E-001 ELECTRICAL LEGENDS AND ABBREVIATIONS

E-101 ELECTRICAL SITE PLAN

3. 30 AMP DISCONNECT SWITCH, INSTALL DISCONNECT SWITCH WITHIN SIGHT OF NEW TRANSFORMER.

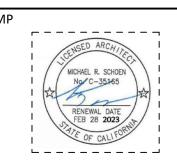
PARTIAL SINGLE LINE DIAGRAM

SCALE: N/A

CSDA DESIGN

LISTEN COLLABORATE CREATE

610 E. Franklin Ave El Segundo, CA 90245 [T]: 310.821.9200 www.csdadesigngroup.com



CONSULTANT:



ADD: 2866 BIRCH LANE, POMONA, CA 91767
TEL: (213) 295-5532
EMAIL: ADMIN@TXECORP.COM

CONSULTANT STAMP

PROJECT OWNER:



3537 JOHNSON AVENUE EL MONTE, CA, 91731

PROJECT NAME:



4921 CEDAR AVENUE EL MONTE, CA, 91731

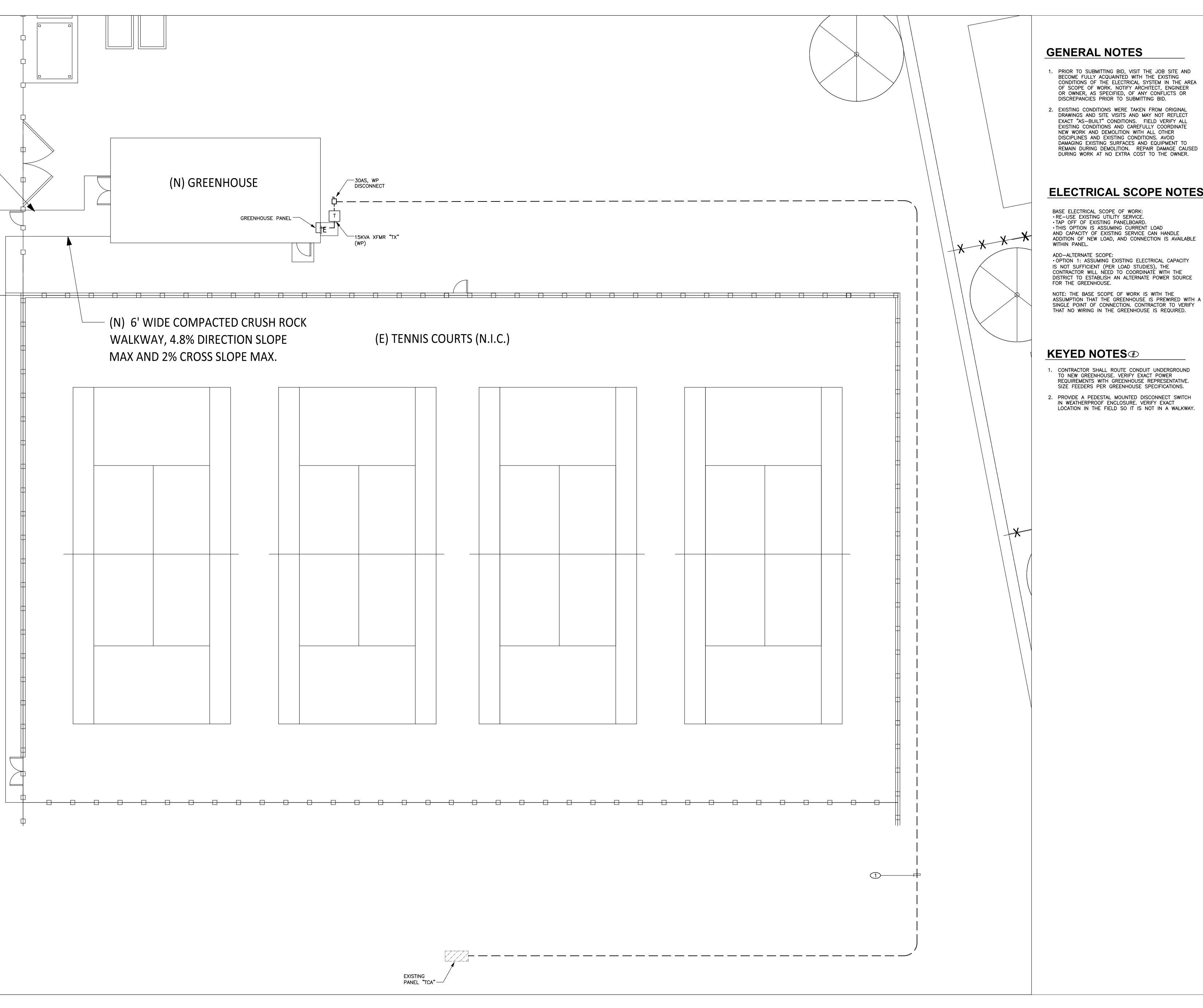
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	01-07-2022	100% CD SET
	03-03-2022	100% CD SET DSA SUBMITTAL
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PKOJ	ECT NO.:	
		01/07/2022

SHEET TITLE:

ELECTRICAL COVER SHEET

SHEET NO.:

E- 001



2. EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND SITE VISITS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. FIELD VERIFY ALL EXISTING CONDITIONS AND CAREFULLY COORDINATE NEW WORK AND DEMOLITION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS. AVOID DAMAGING EXISTING SURFACES AND EQUIPMENT TO REMAIN DURING DEMOLITION. REPAIR DAMAGE CAUSED

#### **ELECTRICAL SCOPE NOTES:**

BASE ELECTRICAL SCOPE OF WORK:

• RE-USE EXISTING UTILITY SERVICE.

• TAP OFF OF EXISTING PANELBOARD.

• THIS OPTION IS ASSUMING CURRENT LOAD

AND CAPACITY OF EXISTING SERVICE CAN HANDLE

ADDITION OF NEW LOAD, AND CONNECTION IS AVAILABLE

• OPTION 1: ASSUMING EXISTING ELECTRICAL CAPACITY

ASSUMPTION THAT THE GREENHOUSE IS PREWIRED WITH A SINGLE POINT OF CONNECTION. CONTRACTOR TO VERIFY THAT NO WIRING IN THE GREENHOUSE IS REQUIRED.

- TO NEW GREENHOUSE. VERIFY EXACT POWER REQUIREMENTS WITH GREENHOUSE REPRESENTATIVE. SIZE FEEDERS PER GREENHOUSE SPECIFICATIONS.
- PROVIDE A PEDESTAL MOUNTED DISCONNECT SWITCH IN WEATHERPROOF ENCLOSURE. VERIFY EXACT LOCATION IN THE FIELD SO IT IS NOT IN A WALKWAY.

IDENTIFICATION STAMP DIV. OF THE STATE ARCHITECT APP: 03-122086 INC: REVIEWED FOR SS | FLS | ACS | DATE: <u>07/11/2022</u>

DESIGN

LISTEN COLLABORATE CREATE

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CONSULTANT:



ADD: 2866 BIRCH LANE, POMONA, CA 91767 TEL: (213) 295-5532 EMAIL: ÀDMÍN@TXECORP.COM

CONSULTANT STAMP



EL MONTE, CA, 91731



4921 CEDAR AVENUE EL MONTE, CA, 91731

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01-07-2022	100% CD SET
03-03-2022	100% CD SET DSA SUBMITTAL
03 03 2022	DOM SOBIVITY TALE

PROJECT NO.:

SHEET TITLE:

ARROYO

ELECTRICAL SITE PLAN -

01/07/2022

E-101

SYMBOLS	ABBR.	DESCRIPTION
	A.H.J	AUTHORITIES HAVING JURISDICTION
	W. OR S.	WASTE OR SEWER BELOW SLAB ON GRADE
SAN—	SAN	SANITARY WASTE PIPE ABOVE SLAB ON GRADE
	V.	SANITARY VENT
	C.W.	DOMESTIC COLD WATER
<b>—</b>		FLOOR CLEAN OUT OR CLEAN OUT THRU GRADE.
	H.W.	HOT WATER (110° F)
	H.W.	HOT WATER (140° F)
—— CD ——	C.D.	CONDENSATE DRAIN
—— G ——	G.	FUEL GAS (LOW PRESSURE)
<b>—</b> ——	w.c.o.	WALL CLEAN OUT
	ABV.	ABOVE
	A.T.P.	AUTOMATIC TRAP PRIMER
	CLG.	CEILING
	CONT.	CONTINUATION
	D.S.	DOWN SPOUT
	I.E.	INVERT ELEVATION
	NC	NORMALLY CLOSED
	PP	PETS PLUG
T	Т	TEPID WATER (75-78 DEGREE F)
——ICW ——	ICW	INDUSTRIAL COLD WATER
	w.c.	WATER CLOSET
	L.	LAVATORY
		AREA IN SCOPE (TYP.)
		THERMOMETER
	C.W.	COLD WATER
	H.W.R.	HOT WATER RETURN
	FCO	FLOOR CLEANOUT
	C.V.	CHECK VALVE
	G.C.	GAS COCK
	A.P.	ACCESS PANEL
	BEL.	BELOW
	CONN.	CONNECTION
	DN.	DOWN
	EXIST.	EXISTING
	POC	POINT OF CONNECTION
	V.T.R.	VENT THRU ROOF
	F.U.	FIXTURE UNIT
	HDR.	HEADER
	R.I.&C.	ROUGH IN AND CONNECT
	SS	STAINLESS STEEL
	ADA	AMERICAN DISABILITY ACT
	A.F.F.	ABOVE FINISHED FLOOR
	BV	BALL VALVE (NO-LEAD) SS BALL & STEM
	1	
	BAV 🔷	BALLANCING VALVE (NO-LEAD) REDWHITE 0-4GPM
	PG PG	0-100 PSI PRESSURE GA

# PLUMBING SPECIFICATIONS

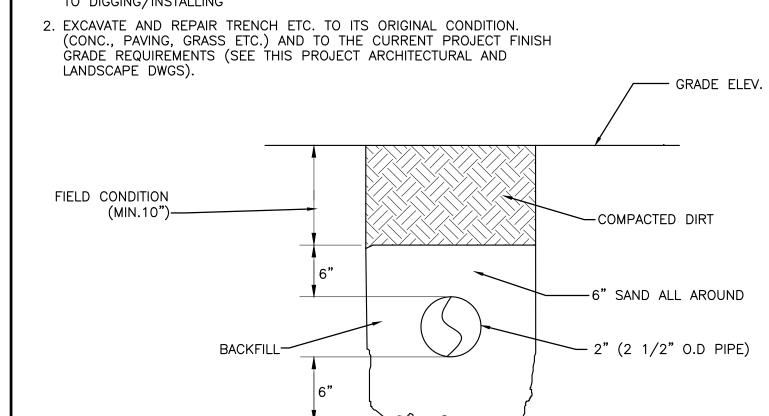
#### PLUMBING GENERAL NOTES

- 1. EXAMINATION OF THE SITE: CONTRACTOR SHALL EXAMINE THE SITE AND BECOME FAMILIAR & KNOWLEDGEABLE ABOUT THE SITE CONDITIONS. CONTRACTOR SHALL BE HELD TO HAVE MADE SUCH EXAMINATION AND NO ALLOWANCE FOR EXTRAS WILL BE ALLOWED FOR ANY ERROR OR OVERSIGHT RESULTING FROM THE CONTRACTOR'S UNFAMILIARITY WITH THE SITE.

  PROVIDE WORK IN COMPLIANCE WITH THE ENFORCED EDITION OF CPC AND WITH ALL AUTHORITIES HAVING JURISDICTION
- REQUIREMENTS AND MANUFACTURER'S REQUIREMENTS.

  2. PROVIDE AND MAINTAIN ACCESS AND WORKING SPACE NEAR MECHANICAL, ELECTRICAL AND CONTROL EQUIPMENT TO PERMIT READY AND SAFE OPERATION, EXAMINATION AND MAINTENANCE.
- 3. COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH OTHER TRADES.
- 4. NEW WORK AND INSTALLATION SHALL NOT INTERFERE WITH THE PROPER FUNCTIONS OF EXISTING FACILITY AND COMPLETED PROJECT SHALL PROPERLY FUNCTION ENTIRELY TROUGHOUT FURNISH ALL LABOR AND MATERIALS REQUIRED TO RELOCATE, REMOVE, REINSTALL, RECONNECT, REPLACE, ETC. ANY EXISTING PLUMBING WORK TO ACCOMMODATE THE NEW LAYOUT.
- 5. ALL NEW PIPING AND SECTIONS OF PIPING SHALL BE CLEANED, TESTED AND CHLORINATED ACCORDING TO CPC 2019 REQUIREMENTS AND AUTHORITIES HAVING JURISICTION REQUIREMENTS.
- 6. DESIGN DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW ALL OFFSETS, BENDS, ELBOWS OR OTHER ELEMENTS WHICH MAY BE REQUIRED. CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AS NECESSARY FOR A COMPLETE INSTALLATION ALSO PART OF THEIR RID
- 7. VERIFY ALL EXISTING CONDITIONS PRIOR TO INSTALLATION, INCLUDING, EXACT LOCATIONS AND SIZES TO ASSURE FULL RESPONSIBILITY FOR FITTINGS AND ALL EQUIPMENT AND MATERIAL HEREIN REQUIRED.
- 8. MAKE ALL CONNECTIONS TO ALL SERVICES WITH NEW FITTINGS.
- 9 INTERFERENCE: ALL PLUMBING WORK SHALL BE INSTALLED IN COORDINATION WITH ALL OTHER TRADES AND SITE UTILITIES.
- 10. FIELD VERIFICATION: BEFORE FABRICATION OR INSTALLATION, THIS CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING CHECKING FOR UNDERGROUND POTENTIAL EXISTING GAS LINES TO KEEP THEM INTACT IN OPERATION AND FUNCTIONING.
- 11. CONTRACTOR TO COORDINATE LOCATIONS OF NEW UNDERGROUND UTILITIES, NEW VALVES WITH EXIST. UNDERGROUND UTILITIES. ANY EXCAVATIONS SHALL BE PERFORMED WITH UTMOST CARE SO AS NOT TO DAMAGE OR COLLIDE WITH EXISTING UTILITIES. CONTRACTOR SHALL OBTAIN THE SERVICES OF AN APPROVED BY THE SCHOOL/PROJECT MANAGERS, SITE UTILITY CONTRACTOR TO SURVEY AND MARK EXIST. UNDERGROUND UTILITY LOCATIONS, TYPES AND DEPTHS BEFORE OPENING NEW TRENCHES, INCLUDING CHECKING FOR EXISTING GAS LINES TO KEEP THEM INTACT IN OPERATION AND FUNCTIONING.
- 12. ANY SHORING AND FENCING TO PROTECT NEW TRENCHES SHALL BE INSLUDED IN CONTRACTOR'S BID.
- 13. ALL WORK SHALL BE DONE DURING NORMAL WORKING HOURS UNLESS APPROVED BY AUTHORITIES HAVING JURISDICTION OTHERWISE.

1. OBTAIN APPROVAL FROM SCHOOL DISTRICT & INSPECTORS ON THE TRENCH AND PIPE IN THE TRENCH CONFIGURATION & MATERIALS, PRIOR TO DIGGING/INSTALLING



TYPICAL PIPING TRENCH DETAIL SCALE 1

\_\_\_\_ 15" MIN. \_\_\_

#### SCOPE OF WORK: SEE P-101 SITE PLAN FOR SCOPE

- 1. DOMESTIC WATER SYSTEM ABOVE ABOVE GRADE:
  TYPE "L", ASTM B88; WROT COPPER SOLDER JOINTS FITTINGS, ANSI/ASME B16.22; 95/5
  TIN/ANTIMONY SOLDER AT VALVES AND TRIM; SILVER SOLDER AT JOINTS.
  PRESSS TYPE JOINTS ACCEPTALBLE AS AN EQUAL.
- 2. DOMESTIC WATER SYSTEM: BELOW GRADE AT POC: SHALL BE SEAMLESS DRAWN COPPER TYPE "K" WRAP IN 3 COATS OF 0.8 MM POLYETHYLENE WRAP/FOIL.

  ANY NEW COPPER PIPE IF INSTALLED UNDERGROUND SHALL BE BRAIZED AND VISQUIN SLEEVES INSTALLED FOR PROTECTION.
- 3. DOMESTIC WATER SYSTEM: BELOW GRADE SHALL BE
  PVC SCHEDULE 80 PIPE AND FITTINGS. USE PVC JOINT PRIMER AND JOINT SEALANT.
  EXTERIOR PVC PIPING EXPOSED TO SUNLIGHT SHALL BE PROTECTED.
  (TYPICALLY PAINTED) (CPC 411.7)
- 3A. NEW BALL VALVES TO BE ALL STAINLESS STEEL MATERIAL, 300 PSI. PROVIDE DISSIMILAR MATERIALS CONNECTIONS APPROVED BY A.H.J; PROVIDE APPROVED BY A.H.J DIELECTRIC UNIONS AS REQUIRED.
   4. TERMINATE UNDERGROUND PIPING NEAR NEW GREENHOUSE IN MARKED YARD BOX AND CAP PIPING.
- 4. TERMINATE UNDERGROUND PIPING NEAR NEW GREENHOUSE IN MARKED YARD BOX AND CAP P COORDINATE LOCATION OF UNDERGROUND VALVED YARD BOXES WITH GREENHOUSE CONTRACTOR SHALL PROVIDE MIN. TWO LOCATIONS AS PER DRAWING REQUIREMENTS.
- 5. GREENHOUSE CONTRACTOR TO MAKE POC TO UNDERGROUND PIPING AND INSTALL ANY REQUIRED APPROVED BACKFLOW DEVICE ABOVE GRADE.
- 6. GREENHOUSE CONTRACTOR TO PROVIDE AND INSTALL ANY REQUIRED PIPING AND HOSE BIBBS WITHIN GREENHOUSE.
- 7. THIS CONTRACTOR TO PROVIDE THE SAME TOPPING MATERIALS AS WERE THERE BEFORE OPENING TRENCHES, COORDINATE WITH ARCHITECTURAL AND LANDSCAPE AND CIVIL DWGS.
- 8. THIS CONTRACTOR TO PERFORM ALL CLEANING, CHLORINATION, DISINFECTION, TESTING ETC. ACCORDING TO UPC 2019 AND A.H.J REQUIREMENTS.
- 9. THIS CONTRACTOR TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR WORK REQUIRED UNDER THIS CONTRACT.
- CONTRACTOR TO MAKE ARRANGEMENTS TO ISOLATE EXISTING PIPING IN ORDEER NOT TO INTERRUPT DAILY SCHOOL OPEARATIONS.

  IF REQUIRED TO FREEZE PIPING TO MAKE P.O.C, CONTRACTOR SHALL INCLUDE THAT IN THEIR BID, INCLUDING ANY NECESSARY VALVES FOR DISINFECTION AND TESTING.

	PLUM	BIN	G N	IAT]	ERI	AL S	SCH	EDU	JLE	
SERVICE	MATERIAL	BEL. GROUND COPPER TYPE "K"	PVC SCH 80 1/2" AND LARGER	SDR11 - NSF61 ** 1/2" UP TO 2"	ABS/PVC*	BLACK STEEL SCH40, SCREWED		COPPER TYPE "M"	PVC AWWA 900	
WATER WITHIN 5	INSIDE									ABOVE SLAB
FT FROM THE BLDG.	OUTSIDE	•								BELOW GRADE
WATER										
UNDERGROUND	OUTSIDE		•							
SAN. VENT	INSIDE									
0.4.0	INSIDE									
GAS	OUTSIDE									
STORM	INSIDE									1
DRAINAGE	OUTSIDE									
CONDENSATE	INSIDE									

#### DOMESTIC WATER PIPE SIZING SCHEDULE 80 PVC PIPE AND FITTINGS

MANUFACTURER TO APPROVE OR ADVISE

SIZE	FLUSH VALVE FU	GPM FV	FLUSH TANK CW FU	GPM FT
1/2"	_	_	_	0
3/4"	_	_	4	3
1"	_	_	10	6
1-1/4"	_	_	20	11
1-1/2"	_	_	28	19
2"	_	_	155	42
2-1/2"	<del></del>		380	74
3"	_	_	665	

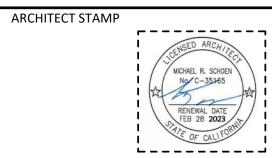
ALL PIPE SIZING BASED ON 3.0 PSI/100 FEET PRESSURE DROP. MAX. VELOCITY COLD WATER: 5.0 FT/SEC.;

APP:	03-122086 INC:
<b>/</b> '\	REVIEWED FOR
ss □	FLS ACS 🗹
DATE	E: 07/11/2022

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT

CSDA DESIGN GROUP

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El Segundo, CA 90245
[T]: 310.821.9200
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CONSULTANT:



ADD: 2866 BIRCH LANE,
POMONA, CA 91767
TEL: (213) 295-5532
EMAIL: ADMIN@TXECORP.COM

CONSULTANT STAMP

PROJECT OWNER:



3537 JOHNSON AVENUE

EL MONTE, CA, 91731

PROJECT NAME:



4921 CEDAR AVENUE

	EL MONTE, CA, 91731			
MARK	DATE	DESCRIPTION		
	01-07-2022	100% CD SET		
	03-03-2022	DSA SUBMITTAL		
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SHEET TITLE:

PROJECT NO.:

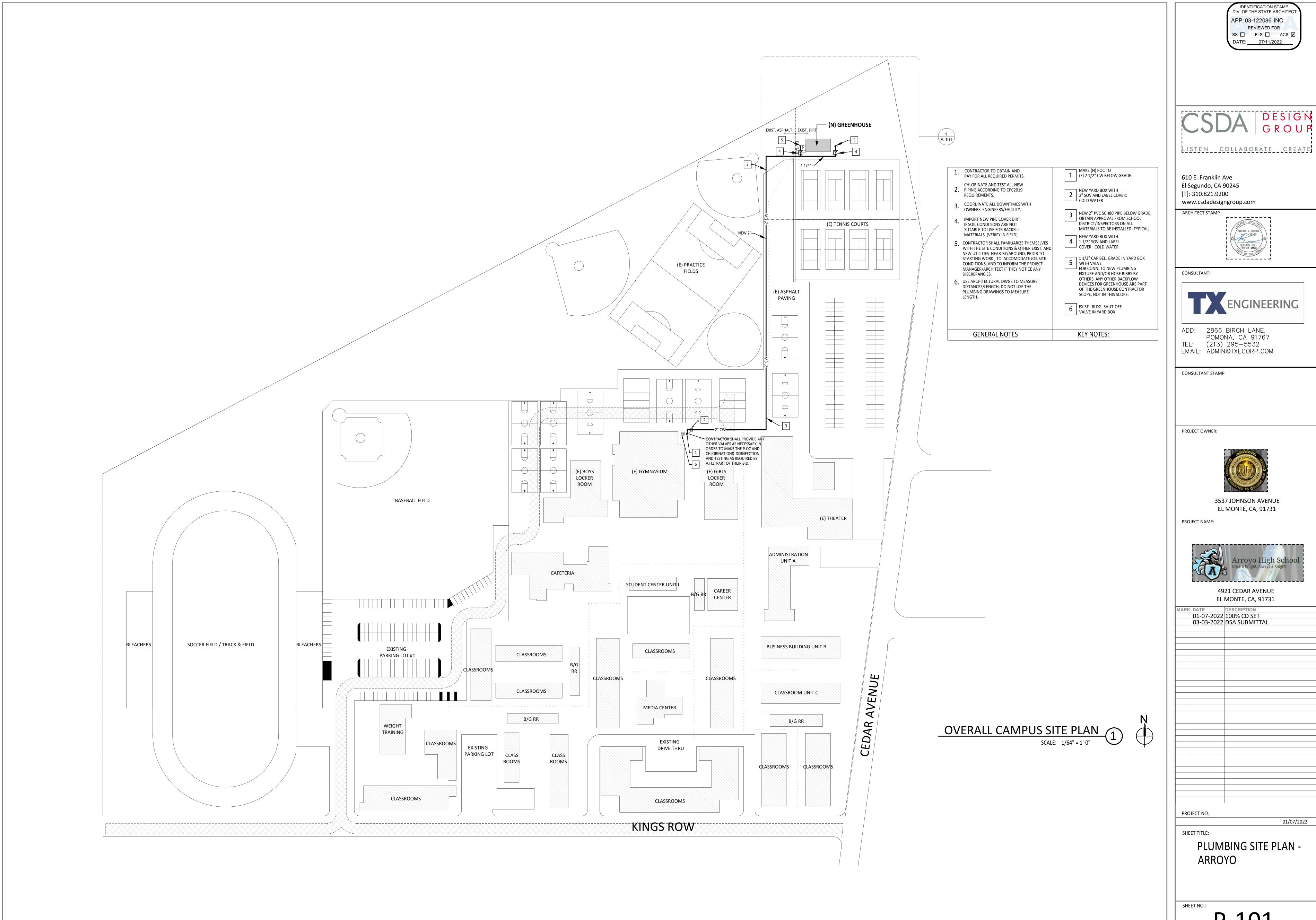
PLUMBING LEGEND, NOTES, SCHEDULES

01/07/2022

SHEET NO.:

P-100

DRAWING NO.	DRAWING TITLE	TOTAL SHEETS
P-100	PLUMBING LEGEND, NOTES, SCHEDULES	1
P-101	PLUMBING SITE PLAN	2



P-101