

CODE ANALYSIS

CONSTRUCTION TYPE: VB (AUTOMATIC SPRINKLER NOT REQUIRED)
 OCCUPANCY GROUP: U
 OCC: OTHER VOCATIONAL ROOM AREAS - OCC LOAD 50 NET (27 OCC. TOTAL)
 ALLOWABLE BUILDING HEIGHT: GROUP U = 40 FT WITHOUT HEIGHT INCREASE
 ALLOWABLE NUMBER OF STORIES: GROUP U = ONE (1)
 ALLOWABLE AREA FACTOR (TYPE VB): U OCCUPANCY = 5,500 SF

PROPOSED BUILDING HEIGHT: 1 STORY = 15 FT < ALLOWABLE
 PROPOSED BUILDING AREA - GROSS: 1,344 SF < ALLOWABLE

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) TYPE VB TABLE 601

BUILDING ELEMENT	FIRE RATING	REFERENCE
Primary structural frame (see Section 202)	0	CBC TBL 601
Bearing walls - Exterior	0	CBC TBL 601
Bearing walls - Interior	0	CBC TBL 601
Nonbearing walls and partitions - Exterior (Table 602 > 10')	0	CBC TBL 601
Nonbearing walls and partitions - Interior	0	CBC TBL 601
Floor construction and associated secondary members	0	CBC TBL 601
Roof construction and associated secondary members	0	CBC TBL 601

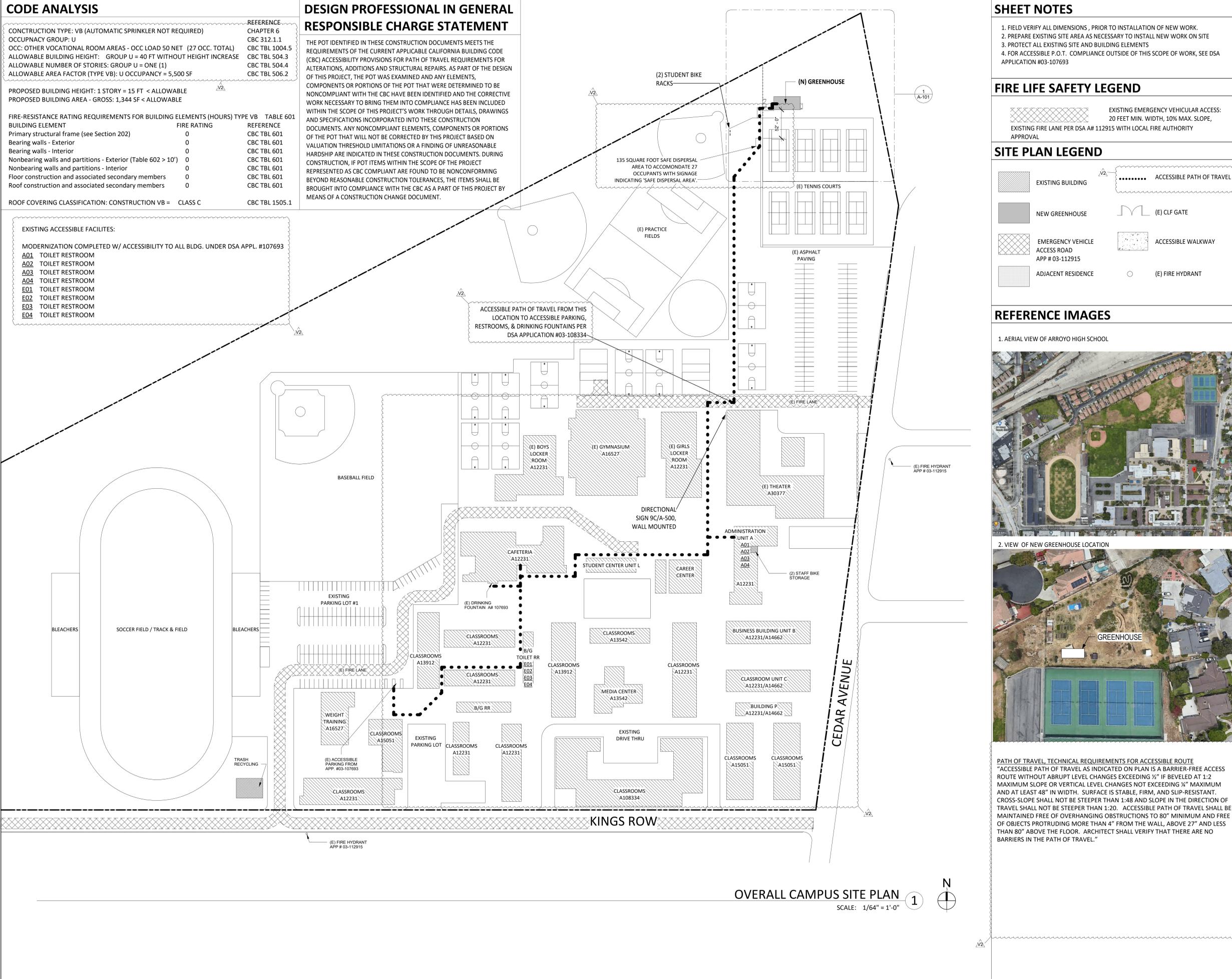
ROOF COVERING CLASSIFICATION: CONSTRUCTION VB = CLASS C CBC TBL 1505.1

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT

THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS MEETS THE REQUIREMENTS OF THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT WITH THE CBC HAVE BEEN IDENTIFIED AND THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE INDICATED IN THESE CONSTRUCTION DOCUMENTS. DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CBC COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THE ITEMS SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT.

EXISTING ACCESSIBLE FACILITIES:

- MODERNIZATION COMPLETED W/ ACCESSIBILITY TO ALL BLDG. UNDER DSA APPL. #107693
- A01 TOILET RESTROOM
 - A02 TOILET RESTROOM
 - A03 TOILET RESTROOM
 - A04 TOILET RESTROOM
 - E01 TOILET RESTROOM
 - E02 TOILET RESTROOM
 - E03 TOILET RESTROOM
 - E04 TOILET RESTROOM



OVERALL CAMPUS SITE PLAN 1
 SCALE: 1/64" = 1'-0"

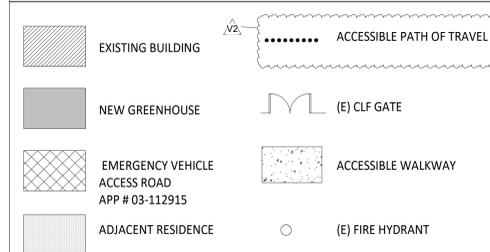
SHEET NOTES

1. FIELD VERIFY ALL DIMENSIONS, PRIOR TO INSTALLATION OF NEW WORK.
2. PREPARE EXISTING SITE AREA AS NECESSARY TO INSTALL NEW WORK ON SITE
3. PROTECT ALL EXISTING SITE AND BUILDING ELEMENTS
4. FOR ACCESSIBLE P.O.T. COMPLIANCE OUTSIDE OF THIS SCOPE OF WORK, SEE DSA APPLICATION #03-107693

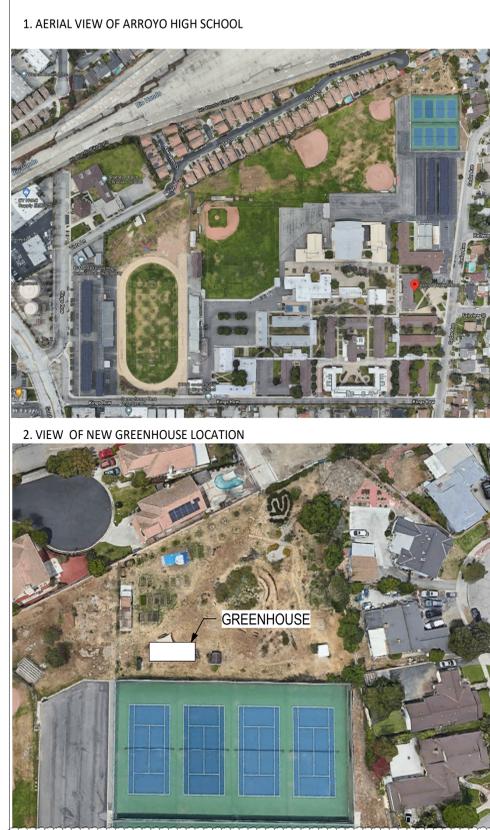
FIRE LIFE SAFETY LEGEND



SITE PLAN LEGEND



REFERENCE IMAGES



PATH OF TRAVEL, TECHNICAL REQUIREMENTS FOR ACCESSIBLE ROUTE
 "ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ABRUPT LEVEL CHANGES EXCEEDING 1/4" IF BEVELED AT 1:2 MAXIMUM SLOPE OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM AND AT LEAST 48" IN WIDTH. SURFACE IS STABLE, FIRM, AND SLIP-RESISTANT. CROSS-SLOPE SHALL NOT BE STEEPER THAN 1:48 AND SLOPE IN THE DIRECTION OF TRAVEL SHALL NOT BE STEEPER THAN 1:20. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND FREE OF OBJECTS PROTRUDING MORE THAN 4" FROM THE WALL, ABOVE 27" AND LESS THAN 80" ABOVE THE FLOOR. ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL."



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ARCHITECT STAMP
 CONSULTANT
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PROJECT OWNER:
EL MONTE UNION HIGH SCHOOL DISTRICT



3537 JOHNSON AVENUE,
 EL MONTE, CA 91731

PROJECT NAME:
ARROYO HIGH SCHOOL - NEW GREENHOUSE



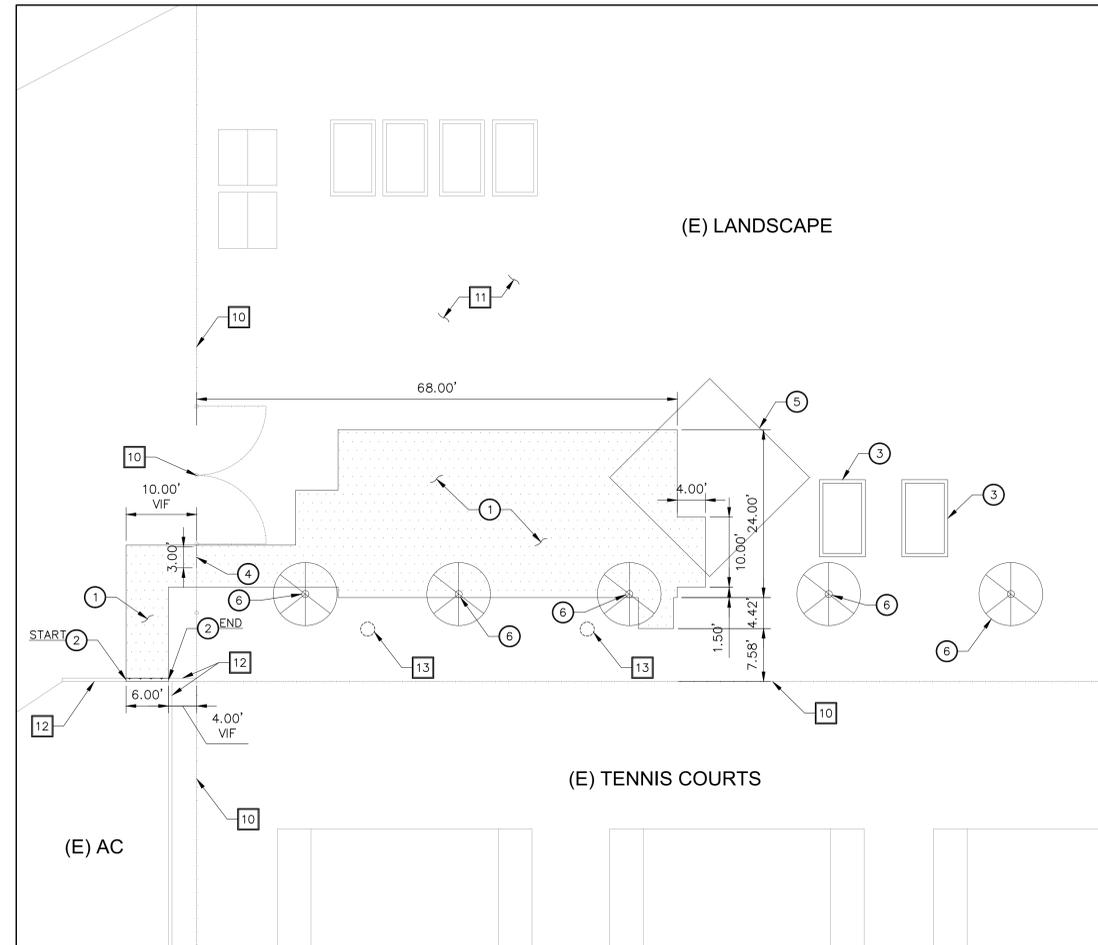
4921 CEDAR AVENUE
 EL MONTE, CA 91731

MARK	DATE	DESCRIPTION
	01/07/22	100% CD SET
	03/03/22	DSA SUBMITTAL
V2		DSA V2 SUBMITTAL

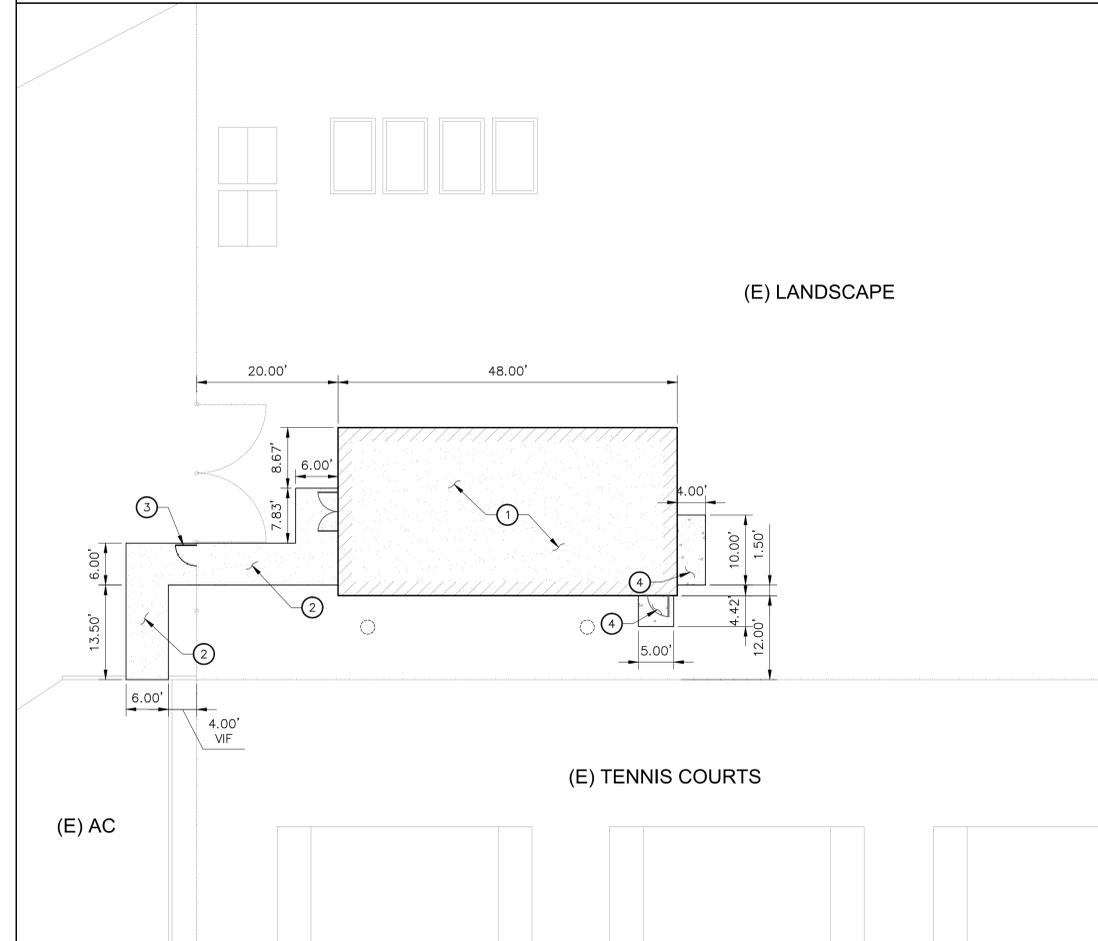
PROJECT NO.: **21075-01**
 01/07/2022

SHEET TITLE:
OVERALL CAMPUS SITE PLAN, FLS, & ACCESSIBILITY

SHEET NO.:
G-101



SITE DEMOLITION PLAN



SITE CONTROL PLAN

REMOVAL NOTES:

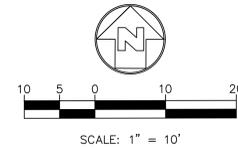
- ① CLEAR, GRUB AND REMOVE EXISTING TURF/PLANTER/EXPOSED SUBGRADE AREA. REMOVE EXISTING SHRUBS AND ROOTS IN THEIR ENTIRETY.
- ② REMOVE EXISTING CURB FULL DEPTH.
- ③ REMOVE AND SALVAGE EXISTING PLANTER BEDS PER ARCHITECTURAL DRAWINGS.
- ④ REMOVE EXISTING FENCE.
- ⑤ REMOVE EXISTING SUN SAIL SHADE AND POSTS IN ITS ENTIRETY PER ARCHITECTURAL DRAWINGS.
- ⑥ REMOVE EXISTING TREE AND ROOTS IN ITS ENTIRETY.

PROTECT IN PLACE NOTES:

- 10 PROTECT IN PLACE EXISTING FENCE/GATE.
- 11 PROTECT IN PLACE EXISTING PLANTER AREA/LAWN.
- 12 PROTECT IN PLACE EXISTING CURB.
- 13 PROTECT IN PLACE EXISTING IRRIGATION VALVE.

LEGEND:

- CLEAR, GRUB AND REMOVE EXISTING TURF/PLANTER/EXPOSED SUBGRADE AREA. REMOVE EXISTING SHRUBS AND ROOTS IN THEIR ENTIRETY.
- REMOVE EXISTING CURB FULL DEPTH.

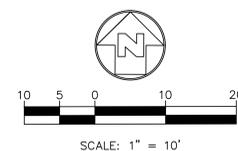


CONSTRUCTION NOTES:

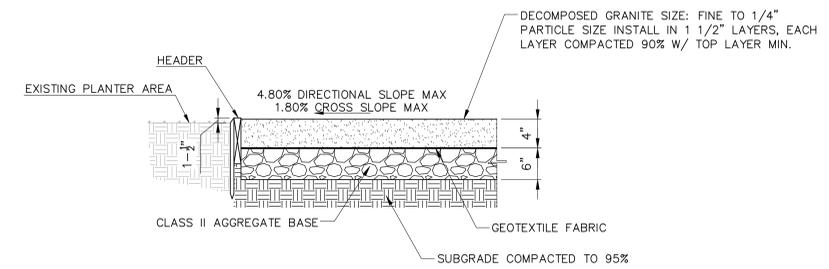
- ① GREENHOUSE PER ARCHITECTURAL AND STRUCTURAL DRAWINGS. GREENHOUSE FLOORING SHALL BE DECOMPOSED GRANITE PER DETAIL 1 ON THIS SHEET.
- ② DECOMPOSED GRANITE PER DETAIL 1 ON THIS SHEET.
- ③ ADA GATE PER DETAIL 7 & 8 ON ARCHITECTURAL SHEET A-500.
- ④ CONCRETE PAD LANDING PER DETAIL 2 ON ARCHITECTURAL SHEET A-500.

LEGEND:

- DECOMPOSED GRANITE
- CONCRETE PAVEMENT
- GREENHOUSE STRUCTURE



1 DECOMPOSED GRANITE
SCALE: NOT TO SCALE



SHEET NOTES:

1. FOR GENERAL NOTES, LEGEND AND ABBREVIATIONS, SEE SHEET C-100.
2. REFER TO ARCHITECTURAL DRAWINGS FOR OTHER SITE DIMENSIONS AND IMPROVEMENTS NOT SHOWN ON THIS DRAWING.
3. FOR PAVEMENT FINISHES REFER TO ARCHITECTURAL DRAWINGS.

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REVIEWED FOR
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DATE: 07/11/2022

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PROJECT OWNER:

EL MONTE UNION HIGH SCHOOL DISTRICT



3537 JOHNSON AVENUE
EL MONTE, CA, 91731

PROJECT NAME:

ARROYO HIGH SCHOOL



4921 CEDAR AVENUE
EL MONTE, CA, 91731

MARK DATE	DESCRIPTION
01-07-2022	100% CD SET
03-03-2022	DSA SUBMITTAL

PROJECT NO.: **21075.01**
01/07/2022

SHEET TITLE:
SITE DEMOLITION PLAN AND SITE CONTROL PLAN

SHEET NO.:
C-200

GENERAL NOTES:

1. IN CASE OF EMERGENCY, CALL 911.
2. A STAND-BY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE ARCHITECT IF THE GRADING OPERATION HAS PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
4. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
5. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
6. A GUARD SHALL BE POSTED ON SITE WHEREVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
7. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE QSP. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
8. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
9. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE ARCHITECT.
10. EVERY EFFORT MUST BE MADE TO ELIMINATE THE DISCHARGE OF NONSTORM WATER FROM THE PROJECT SITE AT ALL TIMES.
11. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
12. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
13. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
14. EXCESS OR WASTE CONCRETE MAY NOT BE WASTED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
15. CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMP'S ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. A CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY OAR/IOR AND ARCHITECT (COPIES OF SELF-INSPECTION CHECKLIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST). AT HIS/HER EXPENSE THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A QUALIFIED SWPPP PRACTITIONER FOR THE DURATION OF THE PROJECT.
16. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
17. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
18. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
19. AS THE ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION QUALITY."
20. THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE "CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK" - JANUARY 2003, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE ARCHITECT.

EROSION CONTROL

- EC1 - SCHEDULING
- EC2 - PRESERVATION OF EXISTING VEGETATION
- EC3 - HYDRAULIC MULCH
- EC4 - HYDROSEEDING
- EC5 - SOIL BINDERS
- EC6 - STRAW MULCH
- EC7 - GEOTEXTILES AND MATS
- EC8 - WOOD MULCHING
- EC9 - EARTH DIKES AND DRAINAGE SWALES
- EC10 - VELOCITY DISSIPATION DEVICES
- EC11 - SLOPE DRAINS
- EC12 - STREAMBANK STABILIZATION
- EC13 - POLYACRYLAMIDE

NON-STORMWATER MANAGEMENT

- NS1 - WATER CONSERVATION PRACTICES
- NS2 - DEWATERING OPERATIONS
- NS3 - PAVING AND GRINDING OPERATIONS
- NS4 - TEMPORARY STREAM CROSSING
- NS5 - CLEARWATER DIVERSION
- NS6 - ILLICIT CONNECTION/DISCHARGE
- NS7 - POTABLE WATER/IRRIGATION
- NS8 - VEHICLE AND EQUIPMENT CLEANING
- NS9 - VEHICLE AND EQUIPMENT FUELING
- NS10 - VEHICLE AND EQUIPMENT MAINTENANCE
- NS11 - PILE DRIVING OPERATIONS
- NS12 - CONCRETE CURING
- NS13 - CONCRETE FINISHING
- NS14 - MATERIAL AND EQUIPMENT USE
- NS15 - DEMOLITION ADJACENT TO WATER
- NS16 - TEMPORARY BATCH PLANTS

TEMPORARY SEDIMENT CONTROL

- SE1 - SILT FENCE
- SE2 - SEDIMENT BASIN
- SE3 - SEDIMENT TRAP
- SE4 - CHECK DAM
- SE5 - FIBER ROLLS
- SE6 - GRAVEL BAG BERM
- SE7 - STREET SWEEPING AND VACUUMING
- SE8 - GRAVEL BAG BARRIER
- SE9 - STRAW BALE BARRIER
- SE10 - STORM DRAIN INLET PROTECTION

EQUIPMENT TRACKING CONTROL

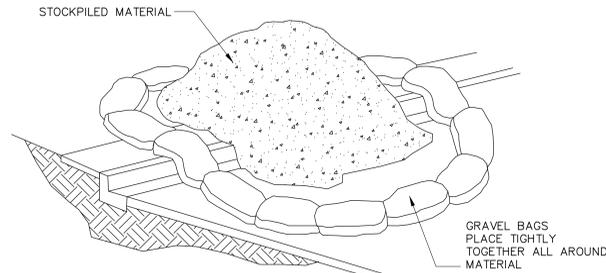
- TC1 - STABILIZED CONSTRUCTION ENTRANCE EXIT
- TC2 - STABILIZED CONSTRUCTION ROADWAY
- TC3 - ENTRANCE/OUTLET TIRE WASH

WASTE MANAGEMENT & MATERIAL POLLUTION CONTROL

- WM1 - MATERIAL DELIVERY AND STORAGE
- WM2 - MATERIAL USE
- WM3 - STOCKPILE MANAGEMENT
- WM4 - SPILL PREVENTION AND CONTROL
- WM5 - SOLID WASTE MANAGEMENT
- WM6 - HAZARDOUS WASTE MANAGEMENT
- WM7 - CONTAMINATION SOIL MANAGEMENT
- WM8 - CONCRETE WASTE MANAGEMENT
- WM9 - SANITARY/SEPTIC WASTE MANAGEMENT
- WM10 - LIQUID WASTE MANAGEMENT

WIND EROSION CONTROL

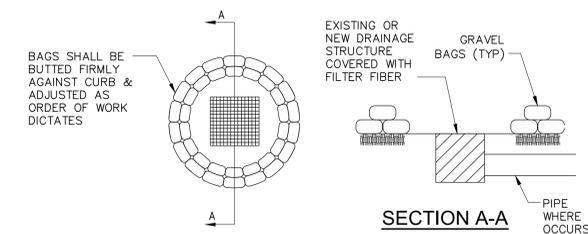
- WE1 - WIND EROSION CONTROL



NOTES:

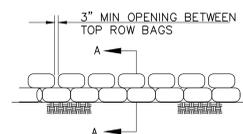
1. DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE CONTAINED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORMDRAIN SYSTEM.
2. ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.

3 MATERIAL STORAGE NOT TO SCALE



4 GRAVEL BAG CHECKDAM NOT TO SCALE

1 GENERAL NOTES



2 GRAVEL BAG DETAIL

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ARCHITECT STAMP

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PROJECT OWNER:

EL MONTE UNION HIGH SCHOOL DISTRICT



3537 JOHNSON AVENUE
EL MONTE, CA, 91731

PROJECT NAME:

ARROYO HIGH SCHOOL



4921 CEDAR AVENUE
EL MONTE, CA, 91731

MARK DATE	DESCRIPTION
01-07-2022	100% CD SET
03-03-2022	DSA SUBMITTAL

PROJECT NO.: **21075.01**
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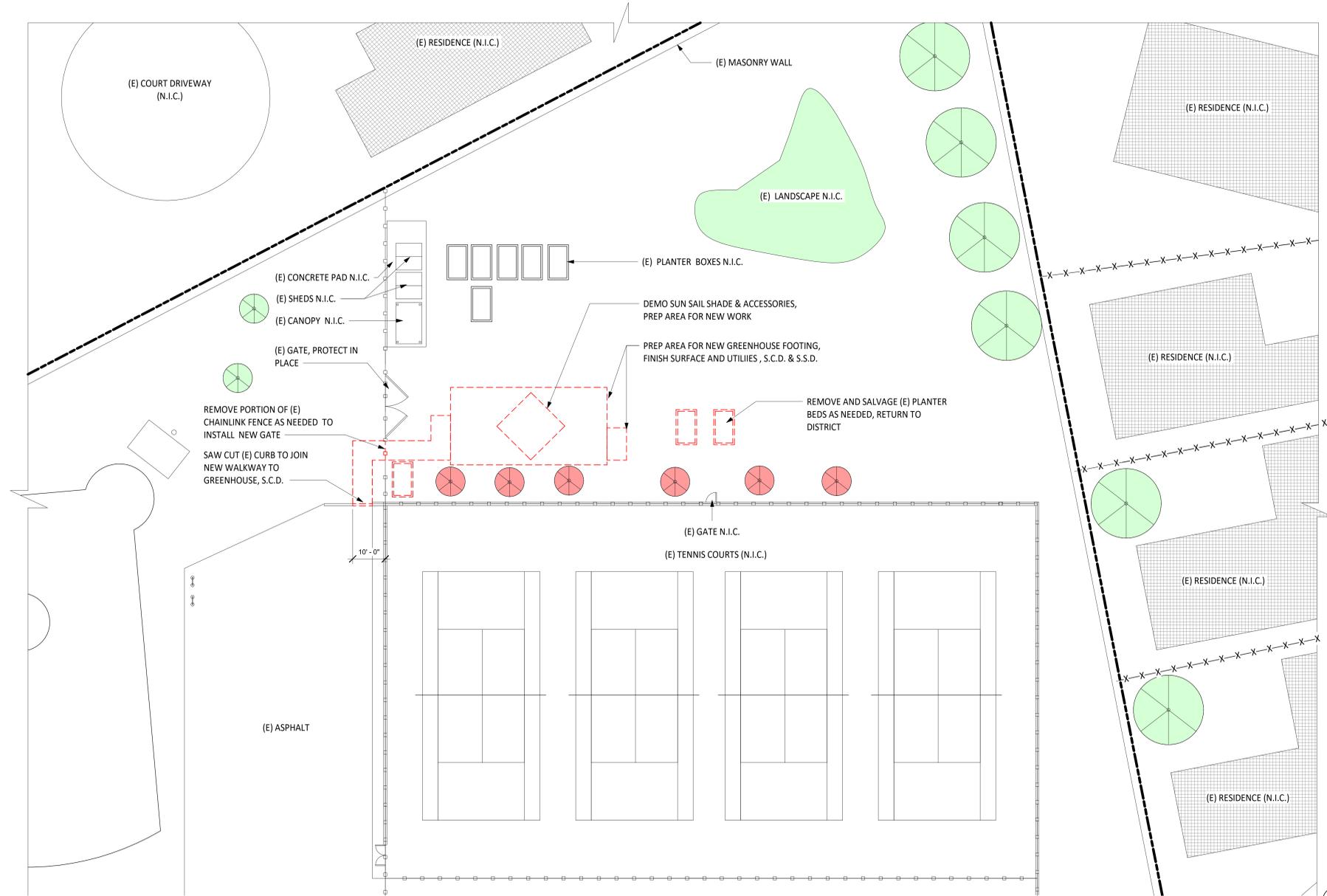
SHEET TITLE:

EROSION DETAILS

SHEET NO.:

C-410

6/28/2022 2:23:12 PM



DEMO SITE PLAN 1
SCALE: 1/16" = 1'-0"



SHEET NOTES

1. FIELD VERIFY ALL DIMENSIONS, PRIOR TO INSTALLATION OF NEW WORK.
2. PREPARE EXISTING SITE AREA AS NECESSARY TO INSTALL NEW WORK ON SITE
3. PROTECT ALL EXISTING SITE AND BUILDING ELEMENTS
4. FOR SITE UTILITIES & TRENCHING TO GREENHOUSE, SEE M.E.P. DRAWINGS FOR ADDITIONAL INFORMATION
5. FOR FOUNDATION AND SITE GRADING, S.C.D. FOR ADDITIONAL INFORMATION
6. RELOCATE & SALVAGE EACH BUILT AND NATURE ELEMENTS AS NEEDED TO ACCOMMODATE GREENHOUSE, RETURN TO DISTRICT.
7. NO DEMOLITION SHALL BEGIN UNTIL PLANS INCLUDING THE DEMOLITION WORK HAVE BEEN APPROVED BY DSA.

SITE LEGEND

- EXISTING BUILDING
- ADJACENT RESIDENCE
- (E) CLF GATE
- EXISTING TREE
- DEMOLISH TREE
- DEMOLISHED AREA
- PROPERTY LINE
- (E) CHAIN LINK FENCE
- (E) WOOD FENCE
- (E) EXISTING
- (N) NEW

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3537 JOHNSON AVENUE,
EL MONTE, CA 91731

PROJECT NAME:
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	01/07/22	100% CD SET
	03/03/22	DSA SUBMITTAL
V2		DSA V2 SUBMITTAL

PROJECT NO.: **21075.01**
01/07/2022

SHEET TITLE:
ENLARGED SITE PLAN - DEMO

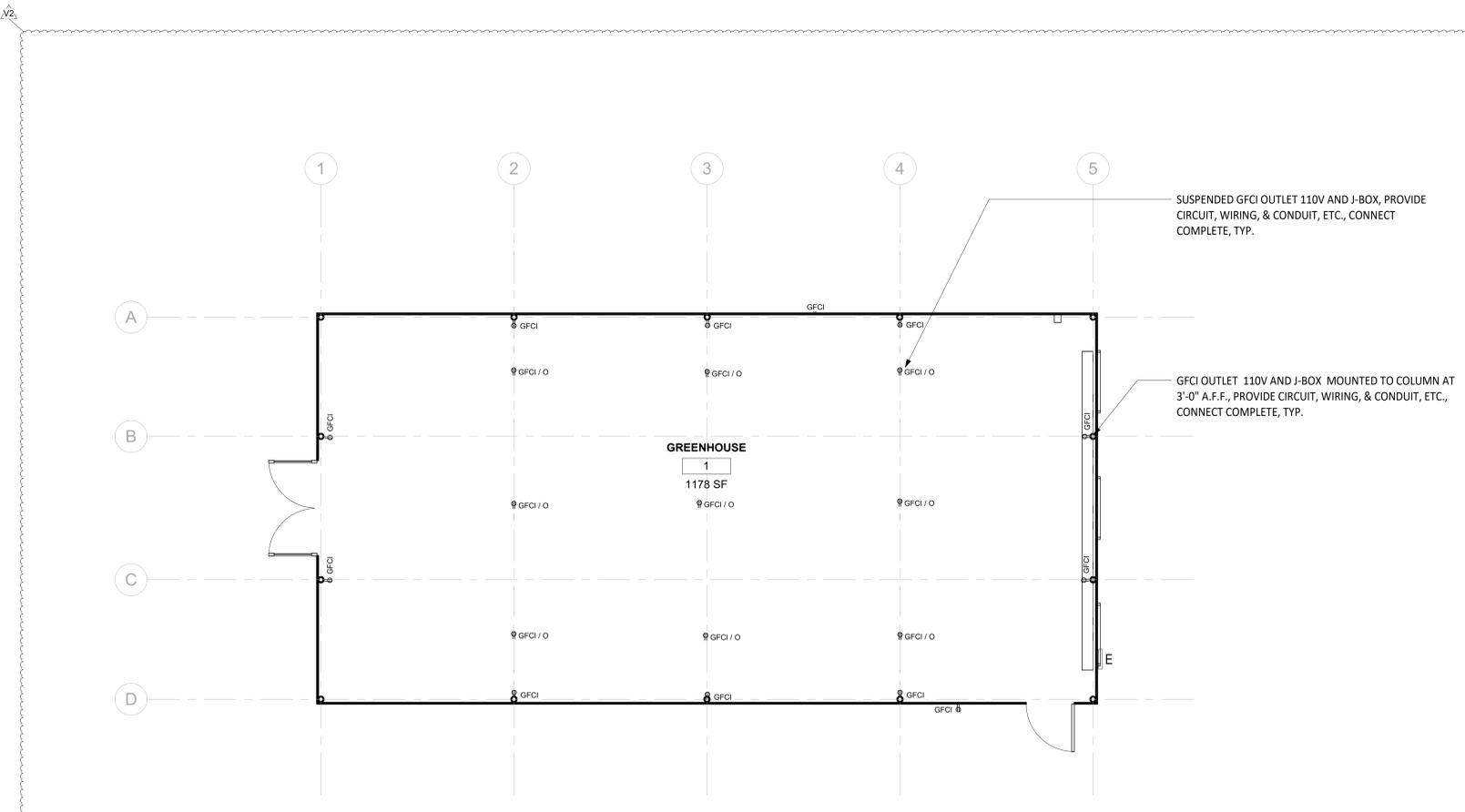
SHEET NO.:
A-001

SHEET NOTES

- LAYOUT IS SCHEMATIC ONLY CONTRACTOR SHALL SIZE ALL NECESSARY EQUIPMENT.
- CONTRACTOR SHALL VERIFY SIZE OF ELECTRICAL PANELS AND/OR SERVICE AND SHALL NOTIFY THE ARCHITECT IF ADDITIONAL ELECTRICAL EQUIPMENTS REQUIRED. V.I.F. PRIOR TO BID.
- PROVIDE SMOKE & CARBON MONOXIDE DETECTORS WITH BATTERY BACK-UP, INCLUDING WIRING, CONDUIT, & CONNECT COMPLETE.
- ALL STANDARD ELECTRICAL OUTLETS TO BE 12" FROM THE FLOOR U.N.O.
- LUMINARIES SHALL BE SWITCHED WITH READILY ACCESSIBLE DIMMING CONTROLS (44" MAX. TO TOP OF OUTLET BOX, ABOVE FINISH FLOOR) & VACANCY SENSORS THAT PERMIT THE LUMINARIES TO BE MANUALLY SWITCHED ON AND OFF.
- LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS. U.O.N.
- NO CONTROLS SHALL BYPASS A DIMMER OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR VACANCY SENSOR HAS BEEN INSTALLED TO COMPLY WITH CALIFORNIA ENERGY CODE SECTION 150.0(K).
- LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CALIFORNIA ENERGY CODE SECTION 110.9.
- SEE SHEET A-800 FOR ADDITIONAL INFORMATION.
- PROVIDE ALL NECESSARY MECHANICAL, ELECTRICAL, & PLUMBING CONNECTIONS TO EQUIPMENT, ACCESSORIES, DEVICES, ETC., FOR COMPLETE INSTALLATION, PROGRAMMING, & FUNCTION, ETC., OF ALL EQUIPMENT, INCLUDING: LIGHTING, HEATING, COOLING, IRRIGATION, MOTORS, FANS, CONTROLLERS, SENSORS, SHADE SYSTEM, ETC.
- PROVIDE CIRCUITS, WIRING, RIGID METAL CONDUITS, BOXES, ETC., GALVANIZED & SPECIFIED FOR EXTERIOR WET AREAS & FOR COMPLETE CONNECTION OF ALL EQUIPMENT, ACCESSORIES, DEVICES, SWITCHES, OUTLETS, ETC., TYP.
- SWITCHING AND DIMMING CONTROLS SHALL BE 44" MAX. FROM FINISH GROUND, TYP.

LEGEND

- GFCI OUTLET, DUPLEX W/ JBOX AS NEEDED AT 3'-0"
- GROUND FAULT WITH AFCI OVERHEAD OUTLET WITH PENDANT DROP OUTLET BOX AS NEEDED
- ELECTRICAL PANEL, S.E.D.



GREENHOUSE POWER PLAN

SCALE: 1/4" = 1'-0"

1



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EL MONTE, CA 91731

MARK	DATE	DESCRIPTION
	01/07/22	100% CD SET
	03/03/22	DSA SUBMITTAL
V2		DSA V2 SUBMITTAL

PROJECT NO.: **21075-01**
01/07/2022

SHEET TITLE:
GREENHOUSE POWER PLAN

SHEET NO.:
A-111

DOOR AND FRAME SCHEDULE (VERIFY PRIOR TO BID)

MARK	ROOM NAME	WIDTH	HEIGHT	DOOR				FRAME			FIRE RATING	HARDWARE GROUP	REMARKS
				MAT.	FIN.	MAT.	FIN.	HEAD	JAMB	THRESHOLD			
1.1	GREENHOUSE	6' - 0"	6' - 8"	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	2/A-110	NONE	PER MANUFACTURER	GREENHOUSE STRUCTURE MFR DOOR & HARDWARE W/ ACCESSIBLE LEVER LOCKSET & THRESHOLD
1.2	GREENHOUSE	3' - 0"	6' - 8"	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	PER MANUFACTURER	2/A-110	NONE	PER MANUFACTURER	GREENHOUSE STRUCTURE MFR DOOR & HARDWARE W/ ACCESSIBLE LEVER LOCKSET & THRESHOLD

GARDENING EQUIPMENT TO BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR:

GARDENING EQUIPMENT (I.E. GROWING SYSTEMS)

MARK	NAME	MANUFACTURER, OR APPROVED EQ. PRIOR TO BID	QUANTITY	MODEL NO., OR APPROVED EQUAL PRIOR TO BID	COMMENTS
A	MESA MINICAMP GRANDE (HYDROPONICS TABLE)	GREENHOUSE MEGASTORE, ETC.	4	HP-NG-MM	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.
B	MINICAMP VERTICAL JARDANIA RACK	GREENHOUSE MEGASTORE, ETC.	2	HP-VG-VZ	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.
C	MICROGREEN RACK	GREENHOUSE MEGASTORE, ETC.	3	HP-CKMG	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.
D	AQUILLA RED CEDAR POTTING BENCH	GREENHOUSE MEGASTORE, ETC.	2	BN-2000	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.
E	AQUAPONICS SYSTEM WITH 200 GALLON TANK	GREENHOUSE MEGASTORE, ETC.	4	HP-CKAP	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.
F	TRUE TEMP - CRYSTAL HEATER CONTROL	AQUAPONIC USA, ETC.	4	T3-300	FURNISH, INSTALL, CONNECT COMPLETE, COORDINATE, PROGRAM, ETC., W/ MANUF.

GREENHOUSE BUILDING EQUIPMENT (**PROVIDE ADDITIONAL EQUIPMENT NOT LISTED, SEE SHEET NOTES & GREENHOUSE MEGASTORE)

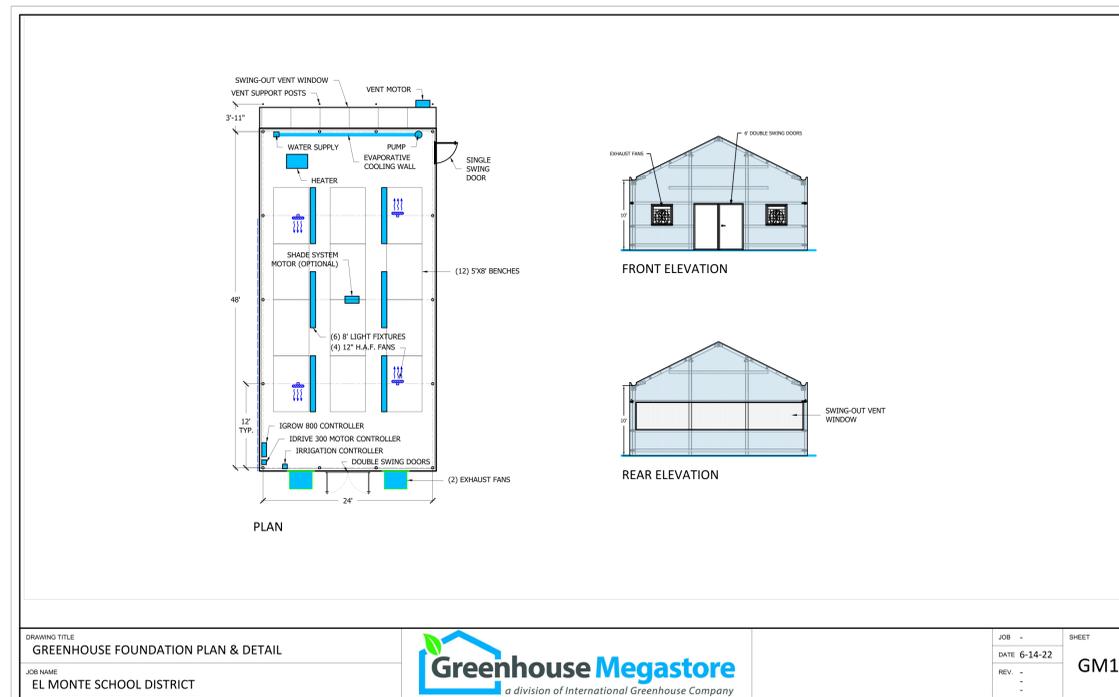
PRODUCT DESCRIPTION	QUANTITY	MODEL NO.	MEASUREMENT	AMPERAGE	VOLTAGE	WEIGHT	CFM	MANUFACTURER
J&D TYPHOON EXHAUST FAN	2	VNS305850	30"	6.2/3.1	115/230	250+/-	NA	MEGASTORE, CONLEY'S, APPROVED EQ. MANUFACTURER (MAY COME WITH GREENHOUSE)
ALUMINUM SHUTTER	4	VRS648A	48.5"X48.5	NA	NA	NA	9,000	MEGASTORE, CONLEY'S, APPROVED EQ. MANUFACTURER (MAY COME WITH GREENHOUSE)
HORIZONTAL AIR FANS	4	VK12	12"	1.3/0.65	115/230	.18	1,470	MEGASTORE, CONLEY'S, APPROVED EQ. MANUFACTURER (MAY COME WITH GREENHOUSE)
IGROW 800 ENVIRONMENTAL CONTROLLER	1	CT-4108	4"X6"	NA	NA	5+/-	NA	MEGASTORE, CONLEY'S, APPROVED EQ. MANUFACTURER (COORDINATE WITH MAN.)
STAINLESS STEEL EVAPORATIVE SYSTEM FOR 6" PADS	1	EV-556	20'-0" X 4'-0"	NA	NA	NA	NA	MEGASTORE, CONLEY'S, APPROVED EQ. MANUFACTURER (COORDINATE WITH MAN.)

SHEET NOTES

- SEE SHEET G-001 FOR SHEET INDEX, ETC.
- SEE GREENHOUSE FLOOR PLAN SHEET.
- SEE GREENHOUSE POWER PLAN SHEET.
- SEE SKETCH GM1 BY GREENHOUSE MEGASTORE.
- PROVIDE GREENHOUSE, INCLUDING ALL EQUIPMENT, COMPONENTS, ACCESSORIES, DEVICES, ETC., BY GREENHOUSE MEGASTORE (U.O.N.) & THEIR ASSOCIATED MANUFACTURERS, OR SUBMIT AN EQUAL PRODUCT FOR REVIEW PRIOR TO BID, TYP. CONTRACTOR SHALL COORDINATE WITH THE GREENHOUSE MANUFACTURER ON ALL EQUIPMENT, ACCESSORIES, DEVICES, ETC., THAT REQUIRE MECHANICAL, ELECTRICAL, AND PLUMBING CONNECTIONS FOR COMPLETE INSTALLATION. ALL LABOR, MATERIAL, ETC., ASSOCIATED WITH THIS WORK IS PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- OMIT (12) BENCHES.
- PROVIDE THE FOLLOWING (TO BE SELECTED BY ARCHITECT) FROM THE GREENHOUSE MEGASTORE'S FULL CATALOG (AVAILABLE ONLINE) & THEIR ASSOCIATED MANUFACTURERS, INCLUDING ALL LABOR, MATERIAL, ETC., FOR COMPLETE INSTALLATION (OR SUBMIT AN EQUAL PRODUCT FOR REVIEW PRIOR TO BID), TYP.:
 - LED LIGHTING
 - SHADE SYSTEM
 - HEATING
 - EVAPORATIVE COOLING SYSTEM
 - CONTROLLERS
 - FANS
 - MOTORS
 - IRRIGATION
 - OPENINGS
 - ETC.
- ALL DOOR HARDWARE SHALL MEET REQUIREMENTS OF THE CALIFORNIA BUILDING CODE CHAPTER 11B. SEE GUIDE SPECIFICATION SECTION 08.71.00, FOR REFERENCE ONLY.
- PROVIDE TYP. THRESHOLD AT EACH DOOR, SEE GREENHOUSE FLOOR PLAN SHEET.
- PROVIDE CIRCUITS, WIRING, RIGID METAL CONDUITS, BOXES, ETC., GALVANIZED & SPECIFIED FOR EXTERIOR WET AREAS & FOR COMPLETE CONNECTION OF ALL EQUIPMENT, ACCESSORIES, DEVICES, SWITCHES, OUTLETS, ETC., TYP.

GREENHOUSE MEGASTORE

- PROJECT DETAILS
 - SENIOR TEACHING PACKAGE GABLE SERIES GREENHOUSE
 - 1,152 SQUARE FEET GROWING SPACE
- BUILDING DESCRIPTION
 - GREENHOUSE STAND ALONE
 - GABLE 7500 STRUCTURE 24' WIDE X 48' LONG 10' UNDERGUTTER HEIGHT FROM GROUND TO EAVE; 6/12 ROOF PITCH, 12' COLUMN SPACING.
 - POST-IN-PIER COLUMN INSTALLATION
 - SIDEWALLS AND GABLE END FRAMING AND GABLE FLASHING.
 - ALUMINUM EXTRUSIONS AND FASTENERS FOR 8MM TWINWALL POLYCARBONATE FOR GABLE ENDS AND SIDE WALLS.
 - ALUMINUM EXTRUSIONS AND FASTENERS FOR 8MM TWIN WALL POLYCARBONATE ROOF
 - (1) CONTINUOUS END WALL VENT BEHIND EVAPORATIVE COOLING WALL FRAMING FOR TWO (2) EXHAUST FANS, ONE (1) SINGLE SWING DOORS, ONE (1) DOUBLE SWING DOOR.
 - HEATER HANGER KIT
 - GUTTER END CAP AND TWO (2) GUTTER END CAPS W/ DOWNSPOUT TRANSITIONS.
- DESIGN LOADS/ENGINEERING
 - GREENHOUSE STRUCTURE LOAD RATINGS REQUIRED FOR ENGINEERING. ENGINEERED CALCULATIONS AND DRAWING WITH CA STATE ENGINEERS STAMP.
- COVERING
 - SUFFICIENT 8MM CLEAR TWIN WALL POLYCARBONATE STRUCTURED SHEETS TO COVER GABLE END WALLS, SIDE WALLS, AND ROOF OF GREENHOUSE AREA
- HEATING
 - MODINE HER 200 ELECTRIC HEATER, POWER OPTIONS BELOW.
 - 208V 3 PHASE / 56.8 AMPS
 - 240V 3 PHASE / 49.4 AMPS
 - 480V 3 PHASE / 25.3 AMPS
- AIR CIRCULATION
 - (4) HORIZONTAL AIR FLOW (HAF) FANS 12"
- COOLING
 - (2) 30" EXHAUST FANS WITH SLOP WALL HOUSING
 - (1) 36" TALL X 6" THICK X 24' WIDE EVAPORATIVE COOLING WALL COMPLETE WITH PUMP AND RESERVOIR
 - (1) CONTINUOUS END WALL VENT WITH EXTERNAL RACK & PINION AND MOTOR
- DOORS
 - (1) PLYCO 3' WIDE SINGLE SWING DOOR WITH ADA SILL & LOCKSET
 - (1) PLYCO 6' WIDE DOUBLE STEEL DOOR WITH ADA SILL & LOCKSET
- CONTROLS
 - (1) LINK4 FULLY PROGRAMMABLE CONTROLLER WITH INTEGRATED CONTACTOR CABINET, TEMP/HUMIDITY SENSORS AND DRAWINGS. ACCESSED FROM THE CLOUD.
- INTERIOR AUTO SHADE SYSTEM
 - SLOPE/FLAT/SLOPE INTERIOR AUTOMATED SHADE SYSTEM WITH MOTOR. CONTROLLED BY GREENHOUSE CONTROLLER
- LIGHTING
 - (6) 8' LONG - 6 BULB LED LIGHTS FOR GENERAL LIGHTING
- IRRIGATION
 - FILTER, WATER PRESSURE REGULATOR, SOLENOIDS, MULTI STAGE CONTROLLER, TUBING, FITTINGS FOR OVERHEAD MISTING DELIVERY. INCLUDES LINK4 IRRIGATION CONTROLLER WITH 8 CHANNELS. ACCESSED FROM THE CLOUD.
- SEE SKETCH GM1 FOR MORE INFORMATION.



DRAWING TITLE: GREENHOUSE FOUNDATION PLAN & DETAIL
 JOB NAME: EL MONTE SCHOOL DISTRICT
 Greenhouse Megastore
 a division of International Greenhouse Company
 JOB - SHEET: 6-14-22 GM1
 DATE: 6-14-22
 REV: -



LISTEN COLLABORATE CREATE

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CONSULTANT

CONSULTANT STAMP

PROJECT OWNER: EL MONTE UNION HIGH SCHOOL DISTRICT



3537 JOHNSON AVENUE,
 EL MONTE, CA 91731

PROJECT NAME: ARROYO HIGH SCHOOL - NEW GREENHOUSE



4921 CEDAR AVENUE
 EL MONTE, CA 91731

MARK	DATE	DESCRIPTION
	01/07/22	100% CD SET
	03/03/22	DSA SUBMITTAL
V2		DSA V2 SUBMITTAL

PROJECT NO.: 21075-01
 01/07/2022

SHEET TITLE: SCHEDULES

SHEET NO.: A-600

GENERAL NOTES:

1. DETAILS OF CONSTRUCTION NOT SHOWN SHALL BE OF SAME NATURE AS THOSE SHOWN FOR SIMILAR CONDITIONS. REFER TO THE TYPICAL DETAIL SHEETS FOR TYPICAL DETAILS OF CONSTRUCTION. TYPICAL DETAILS APPLY TO ALL CONSTRUCTION UNLESS SPECIFICALLY NOTED OR SHOWN OTHERWISE. WHERE CONDITIONS REQUIRE MODIFICATIONS OF A TYPICAL DETAIL, THE CONTRACTOR SHALL SUBMIT MODIFIED DETAIL FOR APPROVAL BY THE ENGINEER OF RECORD PRIOR TO FABRICATION AND INSTALLATION. DETAILS OF CONSTRUCTION NOT SHOWN SHALL BE OF SAME NATURE AS THOSE SHOWN FOR SIMILAR CONSTRUCTION.
2. CONTRACTOR SHALL CONSIDER THE PROJECT SPECIFICATIONS A PART OF THE CONTRACT DOCUMENTS, WHERE INFORMATION IS CONFLICTING, SPECIFIC DETAILS SHALL GOVERN OVER TYPICAL DETAILS WHICH SHALL GOVERN OVER THESE NOTES WHICH SHALL GOVERN OVER SPECIFICATIONS.
3. ALL DIMENSIONS ON STRUCTURAL DRAWINGS SHALL BE CHECKED AGAINST ARCHITECTURAL DIMENSIONS. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE OMITTED OR NOT CLEAR, CONTACT THE ARCHITECT (ARCH) OR STRUCTURAL ENGINEER OF RECORD (SEOR). ALL DIMENSIONS RELATED TO EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR. DIMENSIONS ARE TO THE FACE OF STUDS, AND TO CENTERLINE OF COLUMNS UNO.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE SEOR OF ANY CONFLICTS BETWEEN THE STRUCTURAL DRAWINGS AND OTHER DRAWINGS, OR EXISTING CONDITIONS NOT SHOWN OR DIFFERENT FROM THOSE SHOWN ON DRAWINGS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE BUILDING THAT IS IN CONFLICT UNTIL THE CONFLICT IS RESOLVED WITH THE AFFECTED PARTIES.
5. THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN THEY DO NOT INDICATE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE CONSTRUCTION AND ALL ADJACENT PROPERTIES DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO BRACING, SHORING OR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR SEOR SHALL NOT INCLUDE OBSERVATION OF THE ABOVE ITEMS.
6. SUBSTITUTION REQUESTS FOR MATERIALS SPECIFIED ON THE STRUCTURAL DRAWINGS MAY BE CONSIDERED WITH MATERIALS HAVING EQUIVALENT OR GREATER CAPACITY AND PERFORMANCE. CURRENT EVALUATION REPORTS AND PRODUCT INFORMATION SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER DEMONSTRATING THE REQUIRED CAPACITY AND PERFORMANCE OF THE MATERIAL TO BE SUBSTITUTED. WRITTEN APPROVAL FROM THE SEOR SHALL BE OBTAINED PRIOR TO THE SUBSTITUTION OF ANY MATERIAL SPECIFIED ON THE STRUCTURAL DOCUMENTS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA, LATEST EDITION, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. THE ARCHITECT, SEOR, AND THE OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.
8. ALL WORK IS NEW (N) UNLESS INDICATED AS EXISTING (E).
9. CONSTRUCTION MATERIALS SHALL BE DISTRIBUTED WHEN PLACED ON THE STRUCTURE SUCH THAT LOADS DO NOT EXCEED DESIGN LIVE LOADS OR RESULT IN AN UNBALANCED CONDITION.
10. REFER TO THE PROJECT SPECIFICATIONS FOR SHOP DRAWING REQUIREMENTS AND SUBMITTALS.

STRUCTURAL DESIGN CRITERIA:

CODES:
ALL WORK SHALL BE IN CONFORMANCE WITH THE CALIFORNIA BUILDING CODE (CBC) 2019 EDITION, INCLUDING ALL AMENDMENTS.
ALL STANDARDS USED SHALL BE THE LATEST VERSION APPROVED BY THE CODE ENFORCEMENT AGENCY ON THE DATE OF THE PERMIT ISSUANCE UNLESS SPECIFICALLY NOTED OTHERWISE.

WIND DESIGN INFORMATION

RISK CATEGORY = III	Kd = 0.85	Kzt = 1.0
BASIC WIND SPEED Vfm = 102 MPH (3 SEC GUST)	EXPOSURE = C	
INTERNAL PRESSURE COEFF. = +/- 0.18		

SEISMIC DESIGN INFORMATION

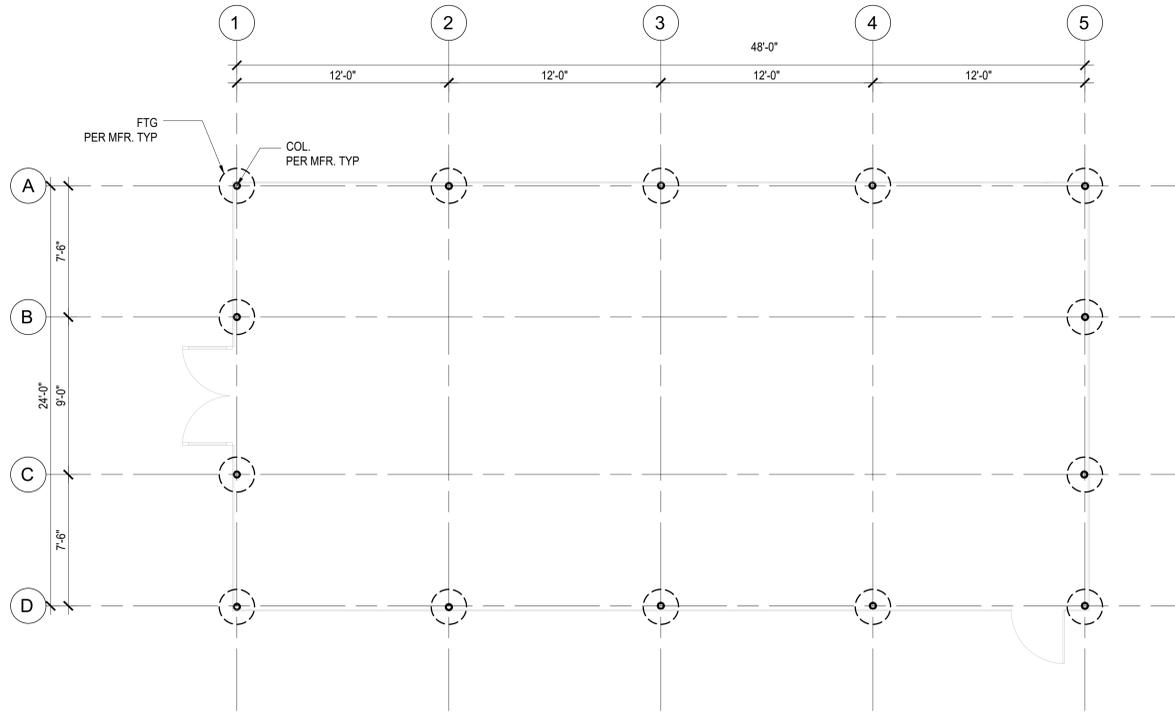
I = 1.25	RISK CATEGORY = III	SITE CLASS = D (DEFAULT)
S _w = 1.82	S ₁ = 0.652	SDS = 1.456 SD1 = 0.739
SEISMIC DESIGN CATEGORY = D		

FOUNDATION NOTES (NO SOILS REPORT):

1. NO SOILS REPORT AVAILABLE; THEREFORE, MINIMUM VALUES USED PER 2019 CBC.
2. ALLOWABLE VERTICAL BEARING PRESSURE = 1500 PSF
ALLOWABLE LATERAL BEARING PRESSURE = 100 PSF PER FT OF DEPTH
3. THE CONTRACTOR SHALL CONFORM TO ALL RECOMMENDATIONS AND CONDITIONS INDICATED IN THE 2019 CBC. A GEOTECHNICAL ENGINEER SHALL OBSERVE ALL FOOTING EXCAVATIONS PRIOR TO PLACING CONCRETE.
4. SUBSURFACE SOIL PREPARATION:
 - A. ALL EXISTING UNDOCUMENTED FILL AND TOPSOILS SHALL BE REMOVED AND RECOMPACTED. BACKFILL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, COBBLE AND BOLDERS.
 - B. ALL EXPANSIVE SOIL SHALL BE REMOVED PER CBC 1308A.6.3
 - C. GEOTECHNICAL ENGINEER SHALL BE RETAINED DURING THE OVEREXCAVATION PROCESS. THE ACTUAL DEPTH OF REMOVAL WILL BE DETERMINED DURING GRADING OPERATIONS TO CONFIRM COMPETENT NATIVE SOIL MATERIALS ARE ENCOUNTERED.
 - D. OFFSITE FILL MATERIAL SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
5. COMPACTED ENGINEERED FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS OF 6 TO 8 INCHES AND SHALL HAVE AN IN-PLACE DRY DENSITY IS NOT LESS THAN 90 PERCENT OF THE MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT DETERMINED IN ACCORDANCE WITH ASTM D1557. THE COMPACTION SHALL BE VERIFIED BY SPECIAL INSPECTION.
6. CONTRACTOR SHALL PROTECT ALL UTILITY LINES, ETC. ENCOUNTERED DURING EXCAVATION AND BACKFILLING.
7. ALL TRENCHES SHALL COMPLY WITH APPLICABLE OSHA REQUIREMENTS.
8. PRIOR TO REINFORCEMENT FOR FOUNDATIONS BEING PLACED, THE SOILS ENGINEER SHALL PREPARE AND SUBMIT A VERIFIED REPORT AS REQUIRED BY THE CALIFORNIA ADMINISTRATIVE CODE. THE REPORT SHALL INDICATE THAT ALL TESTS AND INSPECTION REQUIRED BY THE APPROVED CONSTRUCTION DOCUMENTS WERE COMPLETED AND THAT THE TESTED MATERIALS AND/OR INSPECTED WORK MEET THE REQUIREMENTS OF THE APPROVED CONSTRUCTION DOCUMENTS.
THE REPORT SHALL ALSO STATE THAT:
 - A. THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT.
 - B. THE UTILITY TRENCHES HAVE BEEN PROPERLY BACKFILLED AND COMPACTED.
 - C. THE FOUNDATION EXCAVATIONS COMPLY WITH THE INTENT OF THE SOILS REPORT.

STATEMENT OF SPECIAL INSPECTIONS (DSA):

1. THE OWNER SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTIONS DURING CONSTRUCTION. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.
2. SPECIAL INSPECTIONS ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVED FABRICATORS MUST SUBMIT A CERTIFICATE OF COMPLIANCE FOR OFFSITE FABRICATIONS SUCH AS STRUCTURAL STEEL, PRECAST CONCRETE, GLUED LAMINATED TIMBER, ETC.
3. ALL INSPECTIONS SHALL BE PERFORMED BY INDEPENDENT SPECIAL INSPECTORS. JOB SITE VISITS BY THE STRUCTURAL ENGINEER OR BUILDING OFFICIAL DO NOT CONSTITUTE AND ARE NOT A SUBSTITUTE FOR INSPECTIONS BY A SPECIAL INSPECTOR.
4. ALL INSPECTION REPORTS SHALL BE SUBMITTED TO DSA AND SEOR THE FINAL REPORTS BY THE SPECIAL INSPECTOR(S) MUST CERTIFY THAT THE ENTIRE STRUCTURAL SYSTEM COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS.
5. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT THESE INSPECTIONS ARE PERFORMED.
6. WORK REQUIRING SPECIAL INSPECTION SHALL BE INSPECTED BY THE SPECIAL INSPECTOR WHO IS PRESENT IN THE AREA WHERE THE WORK IS PERFORMED AND AT THE COMPLETION OF WORK. CONTINUOUS INSPECTION CONSISTS OF FULL-TIME INSPECTION; PERIODIC INSPECTION CONSISTS OF PART-TIME OR INTERMITTENT INSPECTION.
7. PERFORM ALL TESTING AND INSPECTION PER CALIFORNIA BUILDING CODE CHAPTER 17A.



SCOPE OF WORK:
THE FOUNDATION PLAN PROVIDED HEREIN IS FOR ILLUSTRATION PURPOSE ONLY.
THE GREENHOUSE STRUCTURE AND FOUNDATIONS ARE CONSIDERED A NON-CLASSROOM BUILDING PER DSA IR A-22 AND IS EXEMPT FROM DSA REVIEW.
THE GREENHOUSE MANUFACTURED SHALL PROVIDE FULLY DETAILED AND CALCULATED DRAWINGS USING THE DESIGN CRITERIA UNDER STRUCTURAL DESIGN & FOUNDATION NOTES.

1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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ARCHITECT STAMP

CONSULTANT:



CONSULTANT STAMP



PROJECT OWNER:

EL MONTE UNION HIGH SCHOOL DISTRICT



3537 JOHNSON AVENUE
EL MONTE, CA, 91731

PROJECT NAME:

ARROYO HIGH SCHOOL



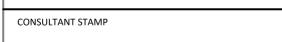
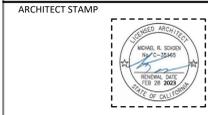
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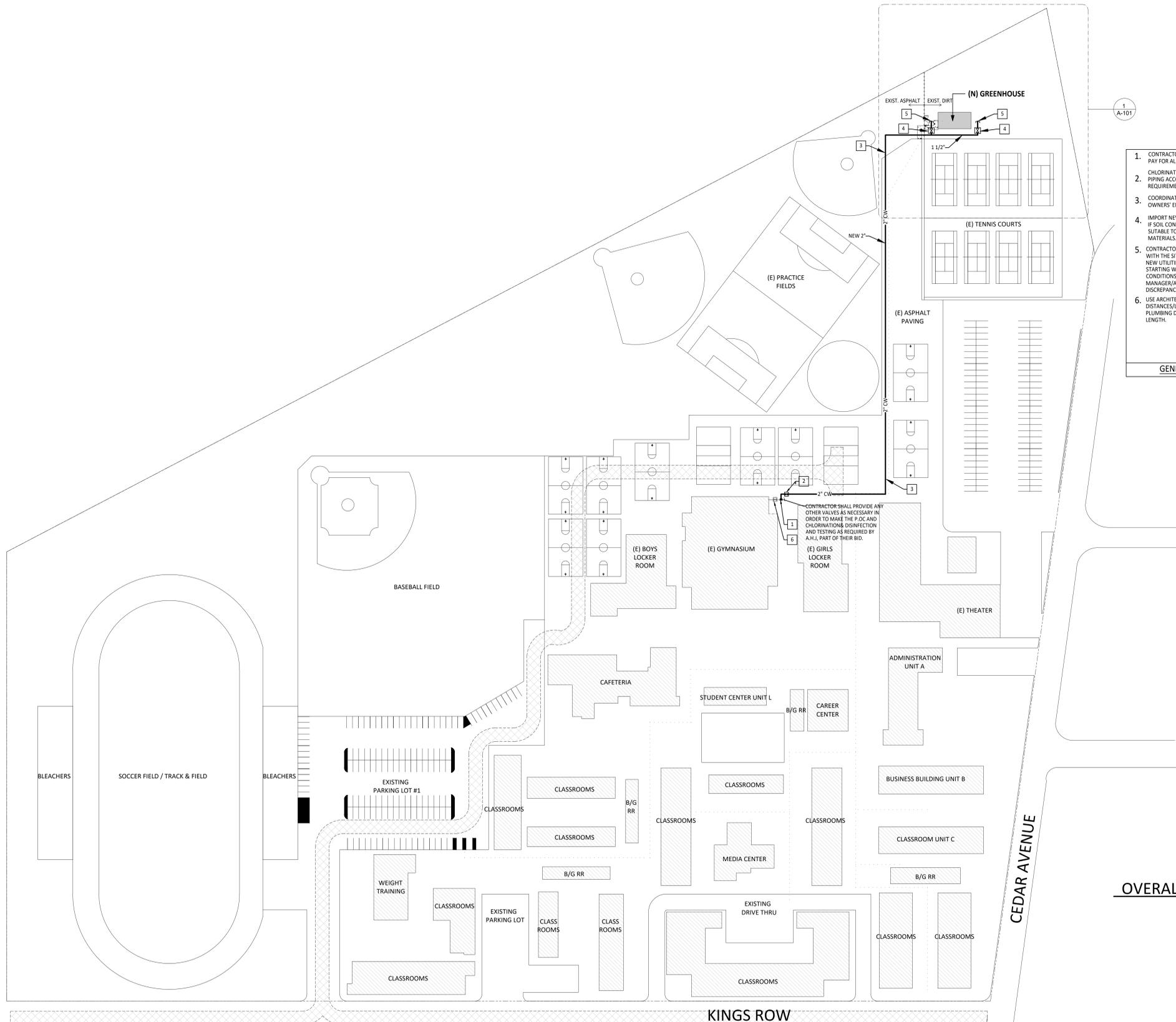
PROJECT NO.: **21075.01**
01/07/2022

SHEET TITLE:
**GREENHOUSE
FOUNDATION PLAN
AND NOTES**

SHEET NO.:
S-001



MARK DATE	DESCRIPTION
01-07-2022	100% CD SET
03-03-2022	DSA SUBMITTAL



- | | |
|---|---|
| <ol style="list-style-type: none"> CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS. CHLORINATE AND TEST ALL NEW PIPING ACCORDING TO CPC2019 REQUIREMENTS. COORDINATE ALL DOWNTIMES WITH OWNERS' ENGINEERS/FACILITY. IMPORT NEW PIPE COVER DIRT IF SOIL CONDITIONS ARE NOT SUITABLE TO USE FOR BACKFILL MATERIALS. (VERIFY IN FIELD) CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE SITE CONDITIONS & OTHER EXIST. AND NEW UTILITIES NEAR-BY/AROUND, PRIOR TO STARTING WORK. TO ACCOMMODATE JOB SITE CONDITIONS, AND TO INFORM THE PROJECT MANAGER/ARCHITECT IF THEY NOTICE ANY DISCREPANCIES. USE ARCHITECTURAL DWGS TO MEASURE DISTANCES/LENGTH. DO NOT USE THE PLUMBING DRAWINGS TO MEASURE LENGTH. | <ol style="list-style-type: none"> MAKE (N) POC TO (E) 2 1/2" CW BELOW GRADE. NEW YARD BOX WITH 2" SOV AND LABEL COVER: COLD WATER NEW 2" PVC SCH80 PIPE BELOW GRADE; OBTAIN APPROVAL FROM SCHOOL DISTRICT/INSPECTORS ON ALL MATERIALS TO BE INSTALLED (TYPICAL). NEW YARD BOX WITH 1 1/2" SOV AND LABEL COVER: COLD WATER 1 1/2" CAP BEL. GRADE IN YARD BOX WITH VALVE FOR CONN. TO NEW PLUMBING FIXTURE AND/OR HOSE BIBBS BY OTHERS. ANY OTHER BACKFLOW DEVICES FOR GREENHOUSE ARE PART OF THE GREENHOUSE CONTRACTOR SCOPE, NOT IN THIS SCOPE. EXIST. BLDG. SHUT-OFF VALVE IN YARD BOX. |
| GENERAL NOTES | KEY NOTES: |

OVERALL CAMPUS SITE PLAN 1
 SCALE: 1/64" = 1'-0"

